

UNIT INFO:
ALEXIS MODEL
BASEMENT
3' EXTENSION
FIREPLACE
12' x 12' CONC. PATIO

NOTE:
AN ALTERNATE SOURCE OF POWER SHALL
BE PROVIDED FOR THE SUMP PUMP ON ALL
UNITS THAT REQUIRE SUMP PUMPS.

"AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE CIRCLED
INFORMATION IS EXISTING AS OBTAINED ON
THE SITE AND IS
CORRECT TO THE BEST OF MY KNOWLEDGE
AND BELIEF.

I ALSO HEREBY CERTIFY THAT AS OF THAT
DATE EROSION CONTROL ITEMS WERE IN
PLACE PER THE APPROVED SITE PLAN.

DATE _____ NAME _____

SITE PLAN GENERAL NOTES:

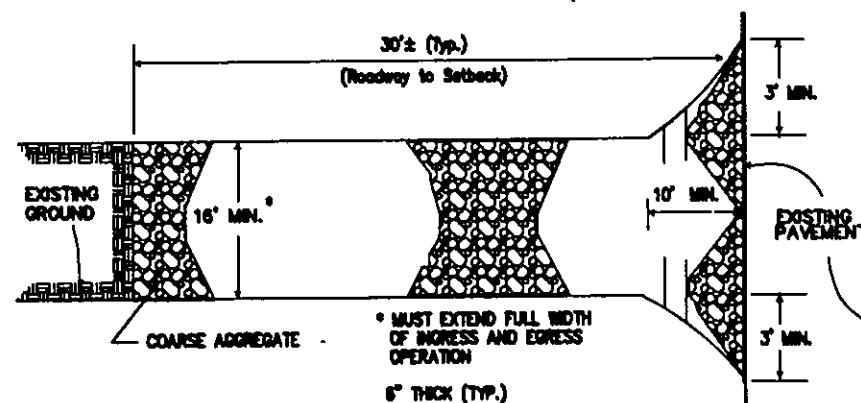
SEE IMPROVEMENT PLANS FOR THE LANDING
AT DUGAN'S FARM CONDO, PHASE 2, FOR
EROSION CONTROL AND GRADING ITEMS.

THE CONDOMINIUM BOUNDARY MUST BE
STAKED TO CONFIRM BUILDING LOCATIONS.

DRIVEWAYS SHALL BE 6" THICK AND HAVE
3' FLARES ON EACH SIDE.

F.G. = ELEVATION OF GARAGE FLOOR AT
FRONT OF GARAGE.

000.00 = SPOT ELEVATIONS



STONE CONSTRUCTION ENTRANCE

NO SCALE

APPROVED

☐ AS NOTED
☐ AS SUBMITTED
☐ NOT APPROVED

EW 9-1405
SIGNATURE

SILT FENCE
TYPICAL CROSS SECTION

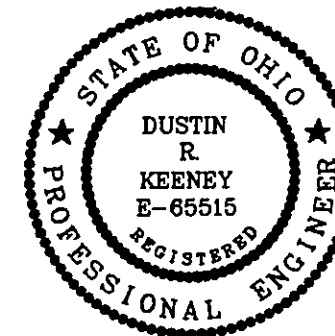
GEOTEXTILE FABRIC (FACING FLOW DIRECTION,
WRAPPED AROUND BOTTOM OF TRENCH)

1 1/4" x 1 1/4" x 48"
HARDWOOD POSTS
@ 6' MAX. C/C.

USE EXCAVATED SOIL TO
BACKFILL TRENCH

FLOW DIRECTION

6" x 6" TRENCH



2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
DND UTILITIES PROTECTION SERVICE
NON-MEMBERS MUST BE CALLED DIRECT

Stormwater Management Plan
Approved as shown and/or noted
JAMES R. GILLS, P.E.
County Drainage Engineer

By L.S. Date 9-28-05

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS
TOPOGRAPHY, INDICATED BY 6", 1", OR 2" CONTOURS,
AND ELEVATIONS SHOWN HEREON, REPRESENT AN
ACTUAL FIELD SURVEY MADE BY ME ON THE 28th
DAY OF SEPTEMBER, 2003, AND THAT THE ELEVATIONS
WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS
OF THAT DATE, THEY EXISTED AS INDICATED HEREON.

Dustin R. Keeney 9/12/05
DUSTIN R. KEENEY, P.E. # 65515

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL
OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN
OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION
BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL
HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT
GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

POLARIS ENGINEERING
& SURVEYING, INC.
34800 CHARDON ROAD
SUITE D
WILLOUGHBY HILLS, OH 44094
(440) 844-4433
(440) 844-3722 (Fax)
www.polaris-es.com

DATE: 8/18/05
SCALE: HOR. 1"=20'
VERT. 1"=2'
FILENAME: Sublot-17-17
TAB: UNIT 17
CREW CHIEF: ---

SITE PLAN FOR:
SUBLOT No. 17
(3934 Dugan's Landing)
The Landing At Dugan's Farm
Condo, Phase 2
PERRY VILLAGE - LAKE COUNTY - OHIO

OWNER:
DUGAN'S LANDING, LLC
P.O. BOX 949
CHARDON, OHIO 44024
PHONE: (440) 354-8401
FAX: (440) 354-5780
CONTACT:
Bill Johnson

CONTRACT No.
03519

SHEET	OF
1	1