

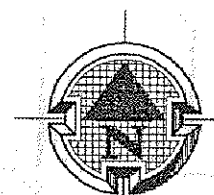
\* SEE DECLARATION OF COVENANTS & RESTRICTIONS SECT. 19 YARD DRAINS

EACH SUBLOT SHALL HAVE A REAR YARD INLET INSTALLED...

### GRAPHIC SCALE



(IN FEET)  
1 inch = 30 ft.



Barrington  
CONSULTING GROUP, INC.

Stormwater Management Plan

Approved as shown and/or noted \*

JAMES R. GILLS, P.E.

County Drainage Engineer

By J.S. Date 1-12-2010

APPROVED  
SIDE LINES & SET BACK  
PERRY TOWNSHIP ZONING  
PERMIT NO. 7962  
ZONING INSPECTOR

LOT IS LESS THAN 1 ACRE.  
NO STORM WATER PERMIT NEEDED.

### GENERAL NOTES:

1. BENCHMARK - TOP STEM OF FIRE HYDRANT IN FRONT OF SUBLOT 44, ELEVATION = 688.23.
2. DRIVEWAY APRON TO BE 6" THICK CONCRETE.
3. ALL DOWNSPOUTS TO BE OUTLETED TO SPLASH BLOCKS.
4. CONTRACTOR RESPONSIBLE FOR CONTACTING THE OHIO UTILITY PROTECTION SERVICE (1.800.362.2764) AND ALL UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
5. THE LOCATION BOTH HORIZONTAL AND VERTICAL OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A DILIGENT AND COMPREHENSIVE SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL, HOWEVER, BARRINGTON CONSULTING GROUP, INC. DOES NOT GUARANTEE THE COMPLETENESS, NOR ACCURACY THEREOF.
6. CONTRACTOR SHALL VERIFY ELEVATIONS OF LATERAL INVERTS IN THE FIELD PRIOR TO FOUNDATION EXCAVATION.
7. SEE SHEET 2 FOR EROSION AND SEDIMENT-CONTROL PLAN.
8. SEE SHEET 2 FOR SEEDING INFORMATION.
9. THE DITCH BETWEEN THE EDGE OF ROAD AND RIGHT OF WAY SHALL BE MAINTAINED AND MAY NOT BE FILLED IN. ANY DRIVE CULVERTS NEEDED SHOULD BE ENCASED IN CONCRETE AS PER SUBDIVISION PLANS.

### CERTIFICATION:

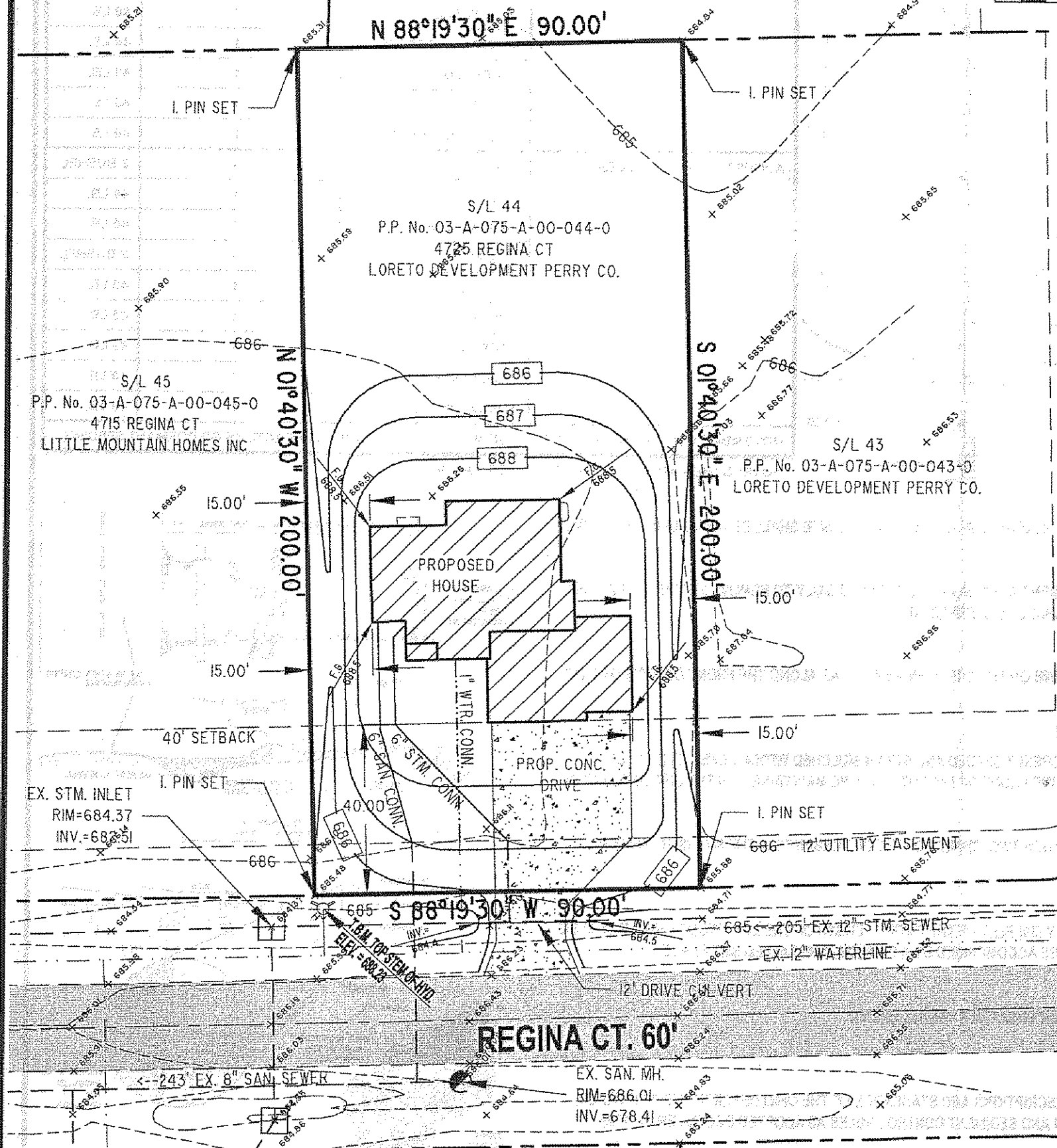
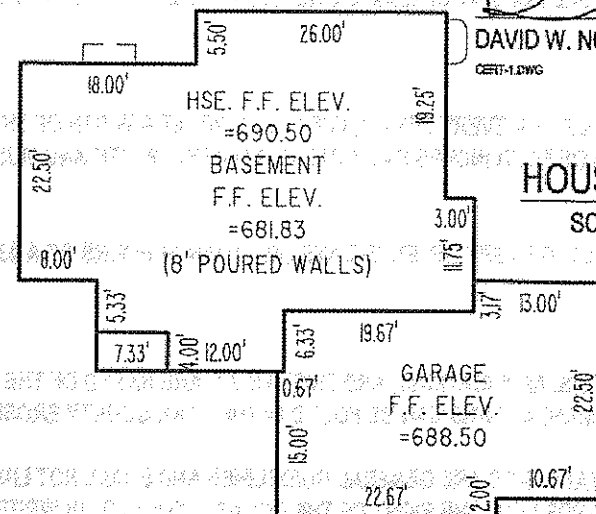
"I THE UNDERSIGNED HEREBY CERTIFIES THAT THIS TOPOGRAPHY INDICATED BY 1 FOOT CONTOURS AND ELEVATION SHOWN HEREON REPRESENTS AN ACTUAL SURVEY MADE BY ME ON THE 25th DAY OF NOVEMBER, 2009 AND THE ELEVATIONS WERE TAKEN AT AN APPROPRIATE INTERVAL AND AS OF THAT DAY THEY EXISTED AS INDICATED HEREON.

"I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF"

David W. Novak 01/06/2009  
DAVID W. NOVAK, P.S. No. 7507  
CERT-1.DWG

### HOUSE DETAIL:

SCALE 1" = 20'



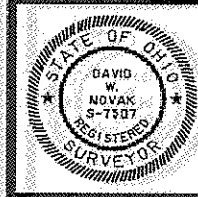
GRADING WITHIN THE R.O.W. SHALL BE  
AS SHOWN ON THE SUBDIVISION IMPROVEMENT PLANS.

FORM W\BLOCKS\FORMS\BCGA3-SHARP.DWG

06108-044

REVISIONS	BY
REVISED GRADING DEC. 14, 2009	WSO
REVISED HOUSE JAN. 05, 2010	WSO

**Barrington**  
CONSULTING GROUP, INC.  
9114 TYLER BLVD., MENTOR, OHIO 44060  
PHONE 440.285.1260 FAX 440.285.1262  
www.BarringtonCGI.com



**SITE PLAN**  
4725 REGINA CT., PERRY TWP., OHIO 44081  
S/L 44 AZALEA RIDGE SUBDIVISION VOL. 52 PG. 25  
LITTLE MOUNTAIN HOMES, INC.

WSD
CHECKED DWN
DATE DEC. 1, 2009
SCALE 1" = 30'
JOB NO. 06108-044
SHEET 1/2
OF SHEETS