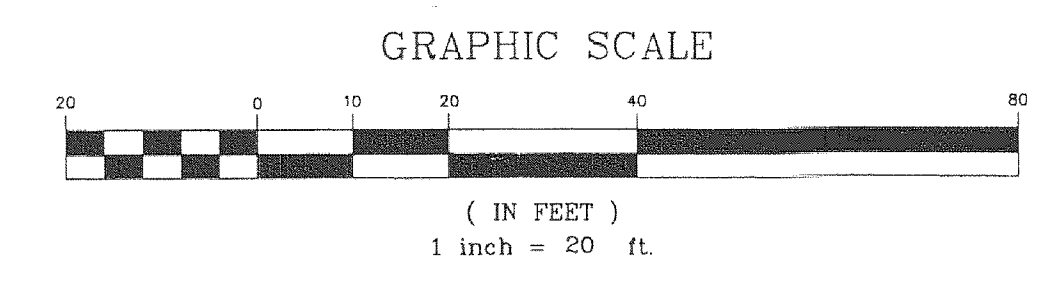


# SITE PLAN FOR 3725 CALL ROAD

OWNER: DOUGLAS W. AND KATHY A. MAKCEN  
PP# 03A-064A-00-021-0



CALL ROAD 60' WIDE

RICHARD M. AND MARIE L. SHOOK  
PP# 03A-064A-00-022-0

EX. HOUSE  
(TO BE RAZED)

SHED  
DUPLICATION W/ AERATION  
OUT BUILDING  
FF. 101.0

GARAGE  
FF. 103.25  
3- BEDROOM  
1st FLOOR  
FF=105.25  
BASEMENT  
FF=95.58

600 LF. - LEACH LINES

SPLITTER BOX

DISTRIBUTION BOX

(1) - 1000 GAL. SEPTIC TANK

JEAN A. PASKO  
PP# 03A-064A-00-019-0

EX. GARAGE  
FF. 101.75

MARTIN AND TAMMY SKAGGS  
PP# 03A-064A-00-020-0

### Erosion and Sediment Control Schedule

**Ingress-Egress**  
A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

**Silt Fence**  
All silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

**Temporary Seeding**  
Disturbed areas of the site that are to remain idle for more than thirty (30) days shall be properly seeded and straw mulched within seven (7) days of completion of initial grading. Temporary seeding and mulching of a thirty (30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

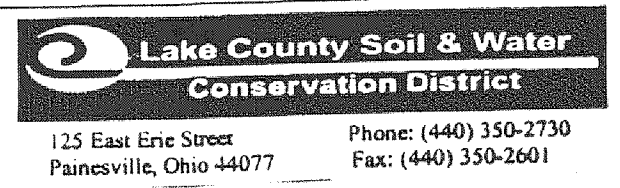
Stabilization of critical areas within fifty (50) feet of any stream or wetland shall be complete within two (2) days of the disturbance if the site is to remain inactive for longer than fourteen (14) days.

**Mulching**  
Stems mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty (30) feet of the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

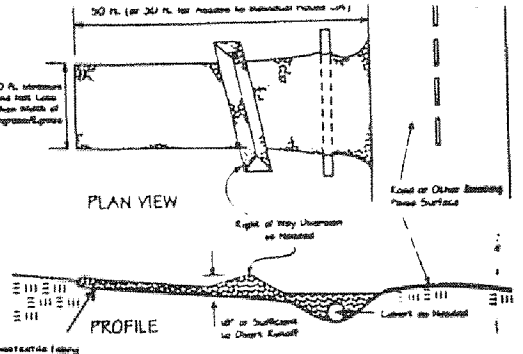
**Maintenance**  
Erosion and sediment controls shall be inspected every seven (7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

**Note:**  
All erosion and sediment control specifications, applications, and timetables are based on the descriptions and standards of The Ohio Department of Natural Resources' "Rainwater and Land Development Manual" and can be found in the Lake County Erosion and Sediment Control Rules as adopted December 21, 1999.

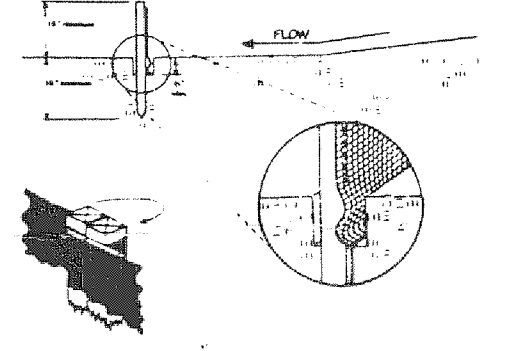
The specified erosion and sediment control standards are general guidelines and shall not limit the right of the county to impose, at any time, additional, more stringent requirements. Note shall the standards limit the right of the county to impose.



### Construction Entrance Detail



### Silt Fence Detail



### Temporary Seeding Specifications

Seeding Date	Species	12-18 200's	Per Ac.
March 1 to August 15	Grass	2	1 bundle
	Red Fescue	1	40 lb
	Annual Ryegrass	1	40 lb
August 15 to November 1	Rye	2	1 bundle
	Red Fescue	1	40 lb
	Annual Ryegrass	1	40 lb
November 1 to Spring Seeding	Winter Rye	1	1 bundle
	Red Fescue	1	40 lb
	Annual Ryegrass	1	40 lb

Grading Plan Approved  
as shown and/or noted  
JAMES R. GILLS, P.E.  
Lake County Engineer

By: *J.S.* Date: 5/10/06

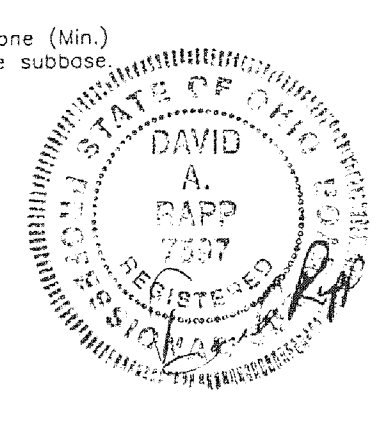
5.1. The Contractor Shall Verify the Following Before Starting:  
1. Finish Floor Elevations and House Size.  
2. Location and elevation of existing utility connections.  
3. Contractor Shall Contact OUPS at least 2 Working Days prior to construction, 1-800-362-2764.  
4. Use of Slog backfill or bedding material is prohibited.  
5. Drive Apron shall be 6" Concrete or 4" Asphalt (Min).  
6. The Drive shall be 4" Concrete, Asphalt or Crushed Stone (Min). Concrete and Asphalt driveways shall have a 4" aggregate subbase.  
7. Roof downspouts are to be outletted to splashblocks.

I, the undersigned hereby certify that this topography, indicated by 1' contours and elevations shown hereon represents an actual field survey made by me in April, 2006, and that the elevations were taken at appropriate intervals and that as of that date they existed as indicated hereon.

*David A. Rapp* 4/24/06  
David A. Rapp  
Reg. No.

APPROVED  
SIDE LINES & SET BACK  
PERRY TOWNSHIP ZONING  
PERMIT NO. 2725  
ZONING INSPECTOR

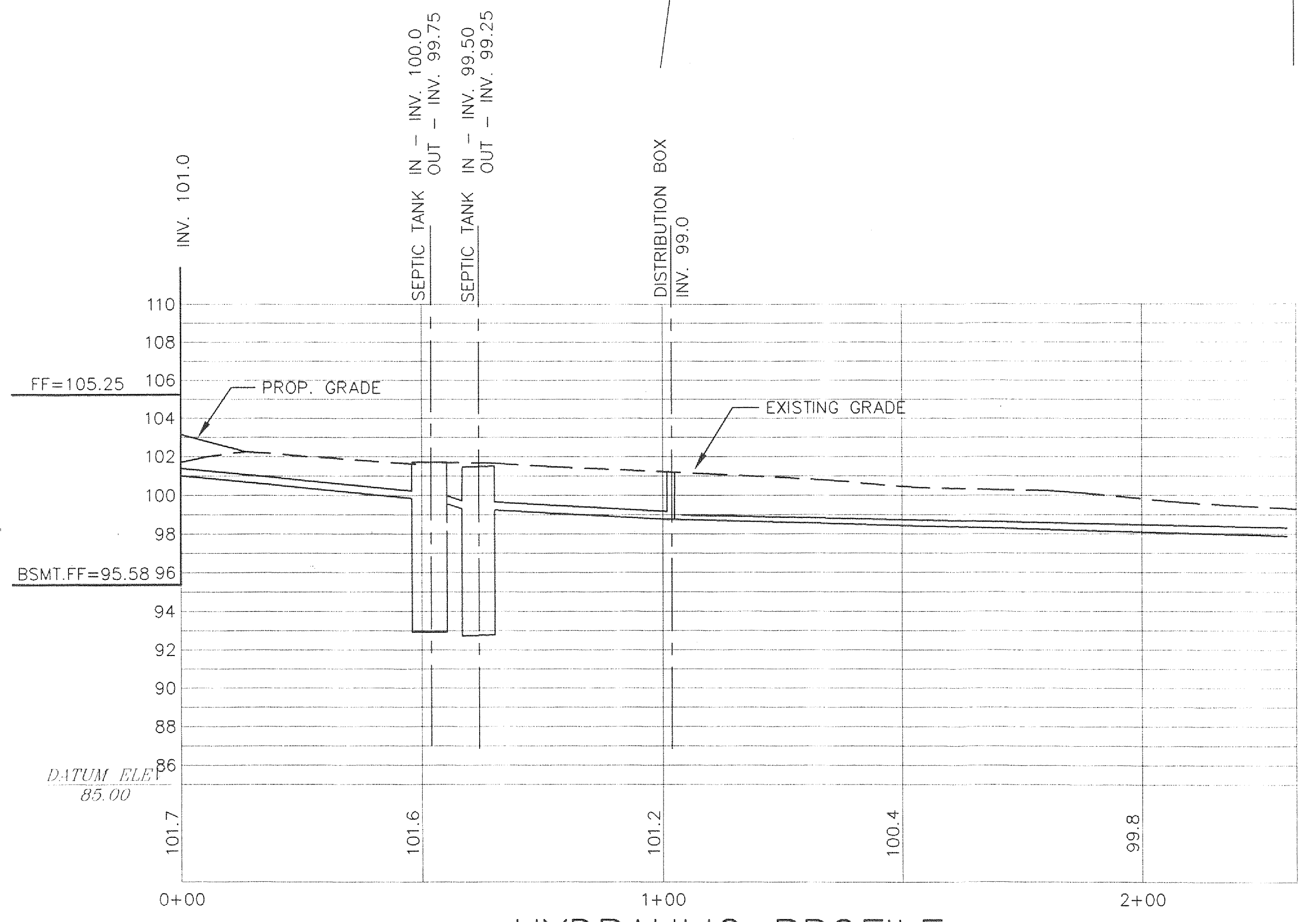
REVIEWED AND ACCEPTED  
LAKE COUNTY GENERAL  
HEALTH DISTRICT



**DAVID RAPP SERVICES**  
5406 DAYTON ROAD MADISON, OHIO 44057  
440-428-1686

DATE: April, 2006  
DRAWN BY: DAR  
CHECKED BY: DAR  
APPROVED BY: DAR  
P.S. No. 7597

**HSM BUILDERS**  
CALL ROAD  
P.E. 224  
HAINES ROAD, MADISON TOWNSHIP



**HYDRAULIC PROFILE**  
SCALE: HORZ. - 1"=20'  
VERT. - 1"=5'

**SITE PLAN**  
26018