

House Summary  
2-Car Front Entry, Right Hand With Basement  
-See Architect Plans For Complete House Dimensions.  
-Utility Connections Per Plan; Contractor To Verify Location And Depth Of All Laterals.

ELEVATIONS USED TO ESTABLISH HOUSE GRADES:  
GARAGE FLR. + 1.0' = TOP WALL  
TOP WALL + 1 1/2" (0.98") = FIRST FLR.  
TOP WALL - 8.04' (12 COURSE) = TOP OF FOOTER  
TOP OF FOOTER + 0.33' = BSMT. FLR.

- NOTES:
1. GARAGE FLR. ELEV = ELEVATION AT CENTER OF GARAGE DOOR.
  2. ALL FLOOR ELEVATIONS LISTED ABOVE TO BE VERIFIED BY BUILDER/CONTRACTOR PRIOR TO EXCAVATION.
  3. ANY CHANGES IN THE ABOVE ELEVATIONS SHOULD BE DISCUSSED WITH THE DESIGN ENGINEER PRIOR TO EXCAVATION.

#### Erosion and Sediment Control Schedule

Ingress-Egress  
A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

Silt Fence  
All silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

Temporary Seeding  
Disturbed areas of the site that are to remain idle for more than thirty (30) days shall be properly seeded and straw mulched within seven (7) days of completion of initial grading.  
Temporary seeding and mulching of a thirty (30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

Stabilization of critical areas within fifty (50) feet of any stream or wetland shall be complete within two (2) days of the disturbance if the site is to remain inactive for longer than fourteen (14) days.

Mulching  
Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty (30) feet of the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

Maintenance  
Erosion and sediment controls shall be inspected every seven (7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

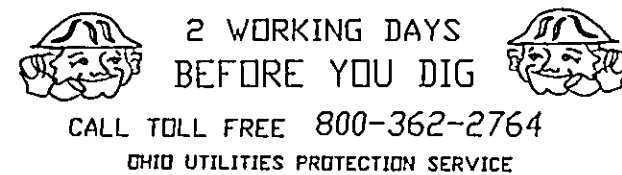
Note:  
All erosion and sediment control specifications, applications, and timetables are based on the descriptions and standards of The Ohio Department of Natural Resources "Rainwater and Land Development Manual" and can be found in the Lake County Erosion and Sediment Control Rules as adopted December 21, 1999.

The specified erosion and sediment control standards are the general guidelines and shall not limit the right of the county to impose, at any time, additional, more stringent requirements. Nor shall the standards limit the right of the county to waive, in writing, individual requirements.

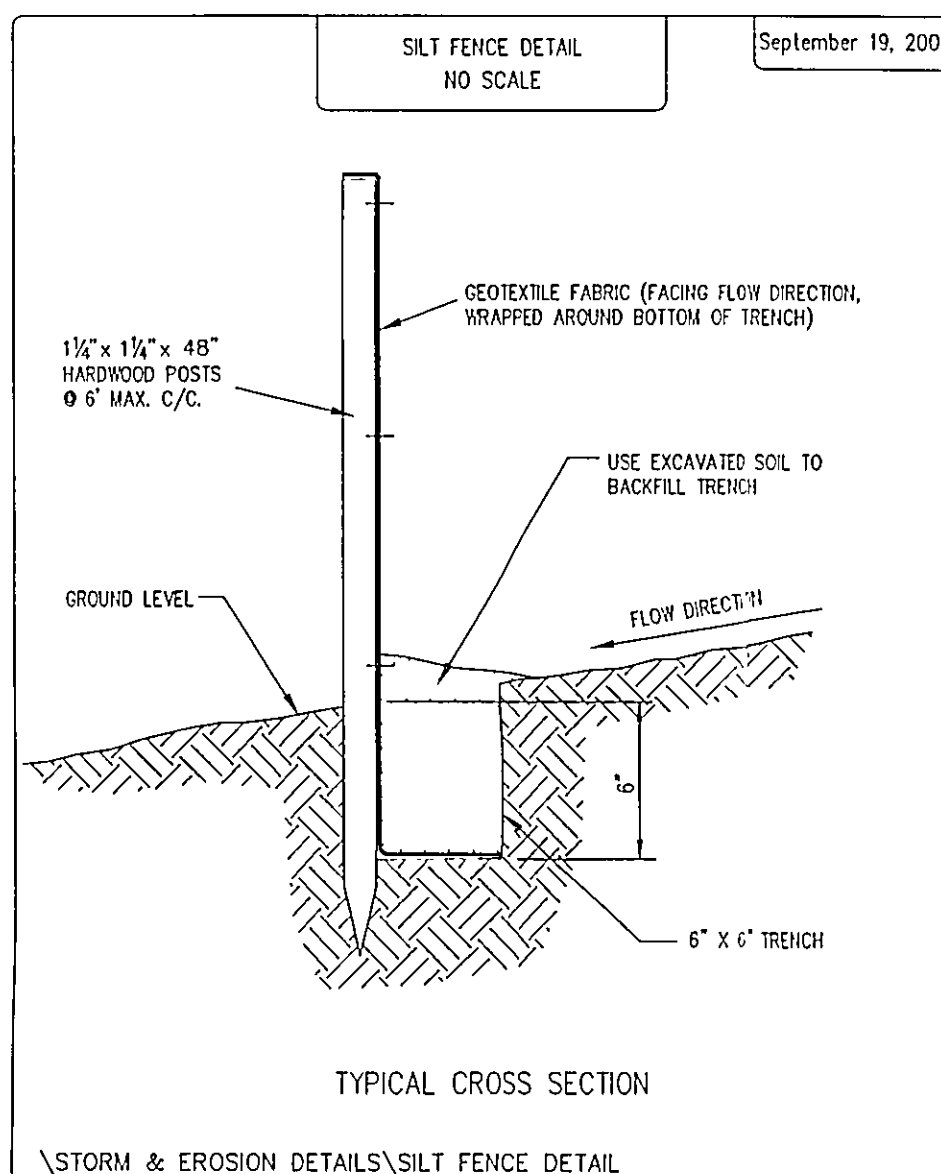
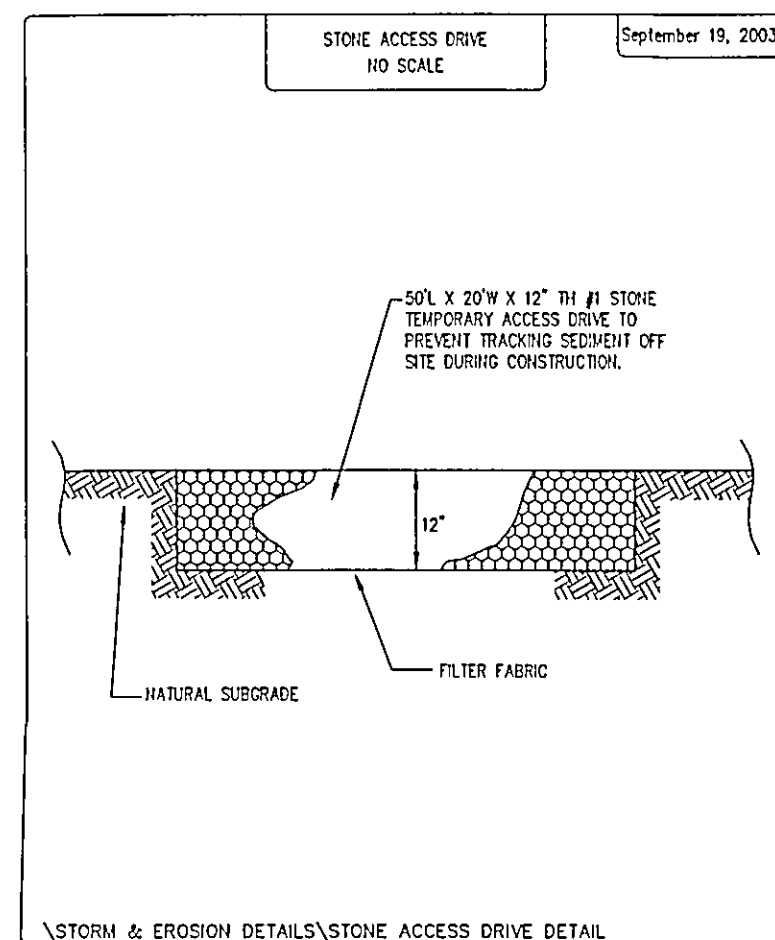
#### Temporary Seeding Specifications

Seeding Dates	Species	Lb. / 1000sqft	Per Acre
March 1 to August 15	Oats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
August 16 to November 1	Rye	1	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Wheat	1	40 lb.
	Tall Fescue	1	40 lb.
November 1 to Spring Seeding	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Wheat	1	40 lb.
	Tall Fescue	1	40 lb.

Note: other approved seed species may be substituted.

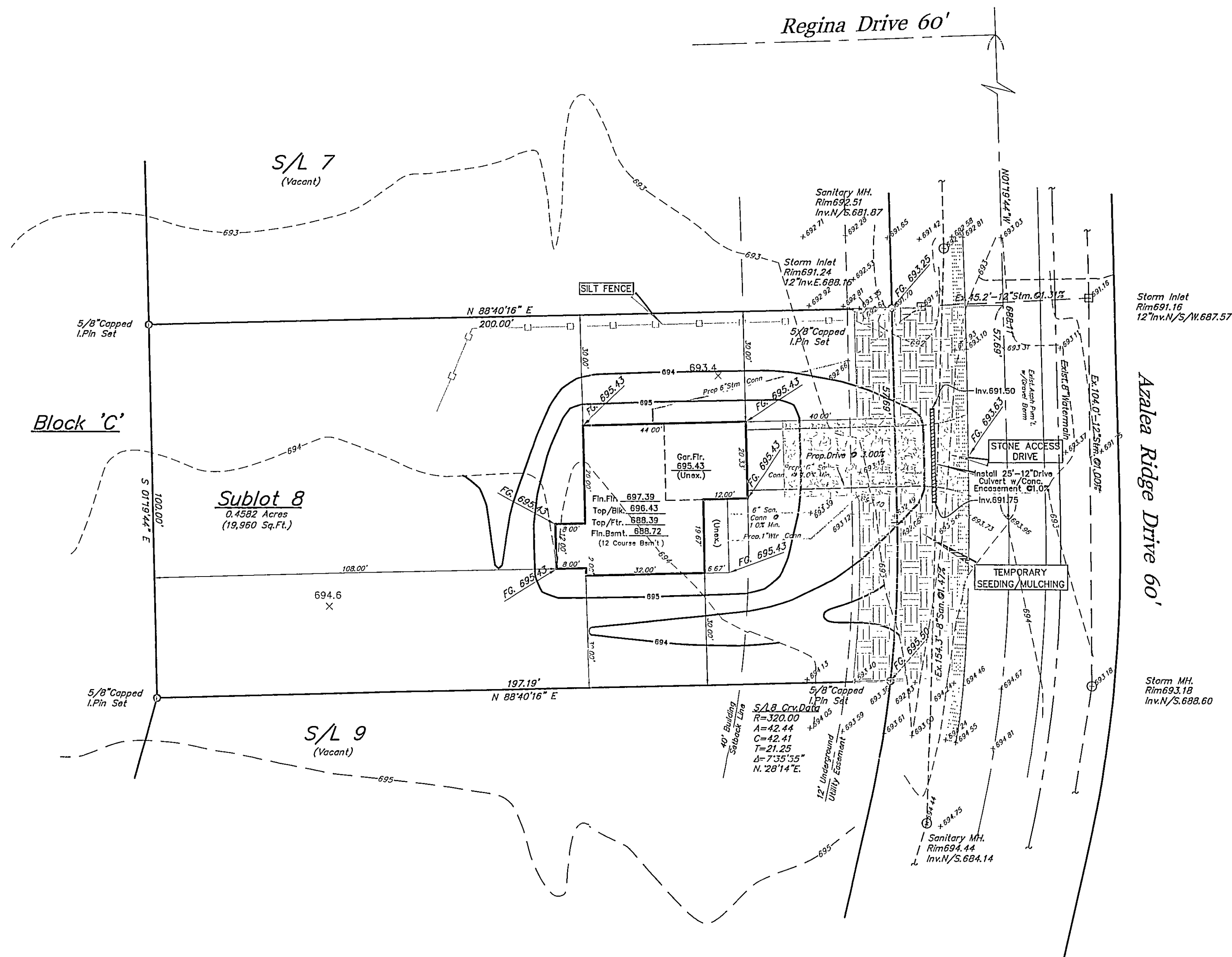


EXISTING UNDERGROUND UTILITIES NOTE:  
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.



NOTE: PER DECLARATION OF Covenants AND RESTRICTIONS SECTION 19 YARD DRAINS EACH SUBLOT SHALL HAVE A REAR YARD DRAIN INSTALLED...

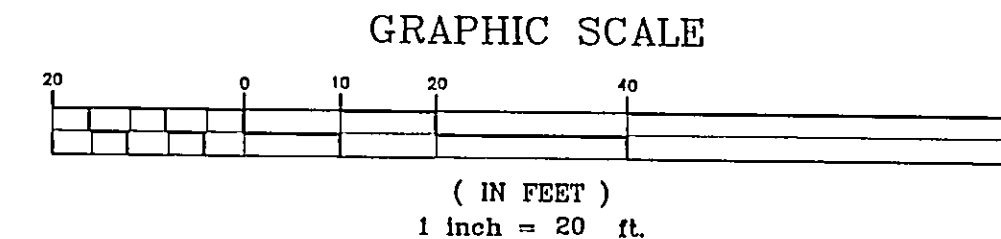
Regina Drive 60'



Azalea Ridge Drive 60'

Storm Inlet  
Rim 691.16  
12" Inv. N/S 111.687.57

Storm MH.  
Rim 693.18  
Inv. N/S 698.60



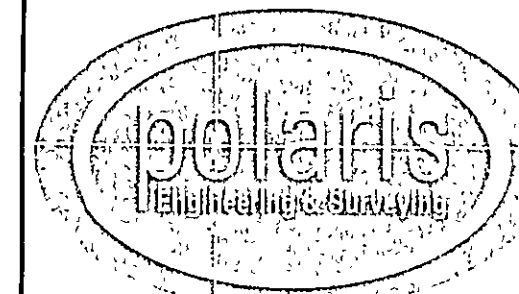
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 6", 1', OR 2' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 21st DAY OF JANUARY, 2006, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE, THEY EXISTED AS INDICATED HEREON.

CHARLES W. SZUCS, P.E. 56526

Topographic Information Within The R/W Were Obtained From Field Measurements Dated July 31st, 2006

ESTIMATED IMPERVIOUS AREA  
HOUSE: 0.04Ac.  
DRIVE: 0.02Ac.  
TOTAL: 0.06Ac.

NOTE: Underground Utility Information Depicted Hereon Were Obtained From Improvement Plans, Prepared By 'CT Consultants' For Proposed 'AZALEA RIDGE SUBDIVISION', And Dated February 2006.



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#### DESIGN CERTIFICATION

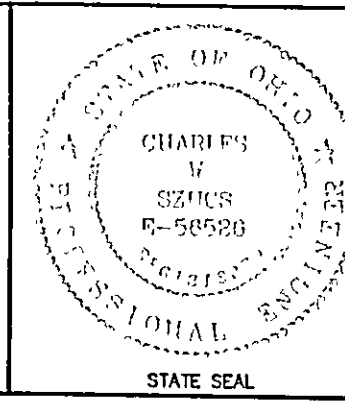
THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME: C.W.S.

DATE: 8-04-06

#### BENCHMARK:

B.M. = T.B.M Set On HYD. VALVE  
Located S. Side of Middle Ridge Road  
Elevation 699.33



#### "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

Site & Grading Plan  
Sublot 8, Azalea Ridge

Perry Township - Lake County - Ohio

CONTRACT No.  
06021  
DATE: 8/4/06  
SCALE: HOR. 1"=20'  
VERT.  
FILENAME: subplot8.dwg  
TAB: subplot8-01  
DRAWN: G.S.V.  
FIELD: \_\_\_\_\_

SHEET 1 OF 1

Grading Plan Approved  
as shown and/or not  
WES R. GILL  
Lake County Eng  
L.S. 8/8/06