

3A-75A-50

1/2

SITE PLAN

PERRY TOWNSHIP, LAKE COUNTY, OHIO

for: MARY PATRIARCA

CLIENT		OWNER	
ADDRESS	STREET	CITY	ZIP
AZALEA RIDGE SUB.			
SUBDIVISION	NAME	TRACT	STREET
24-42	82	LOT	
VOL-PG.	AZALEA RIDGE DRIVE	VOL-PG.	3A-75A25
SUBLOT NO.	STREET	STREET	PERM. PARCEL NO.
25			

LEGEND

SANITARY MANHOLE	---	EXIST. ELEV. 100.0	PROF. ELEV. 100.0
STORM MANHOLE	---	AS BUILT ELEVATION	
INLET OR CATCH BASIN	---	INDICATES	
HYDRANT	---	DIRECTION OF	
EXISTING CONTOURS	---	SURFACE DRAINAGE	
PROPOSED CONTOURS	---		

REMARKS

ALL BOUNDARY DATA SHOWN WAS OBTAINED FROM (DEEDS, RECORDED SUBDIVISION PLAT OR OTHER PUBLIC RECORDS)

LOCATIONS AS SHOWN OF ADJACENT WELLS AND SEPTIC TANKS OBTAINED FROM LAKE COUNTY HEALTH DEPARTMENT

DESIGN CERTIFICATION

THIS PLAT WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME SURVEYOR REGISTRATION NO.

CHECK LIST

NO. OF BEDROOMS	WATER MAIN SIZE, LOCATION
DIMENSIONS	SAN. SEWER SIZE & GR. LOC.
BEARINGS	SAN. MH. CAST. ELEV. INV. ELEV.
TIE TO NEAREST STREET	SAN. CONN. SIZE, LOC. DEPTH
SUBLOT NO. PARCEL NO.	STORM SEWER SIZE & GR. LOC.
SURROUNDING OWNERS	STORM MH. CAST. ELEV. INV. ELEV.
BLDG. DIMENSIONS FIN GR.	PAV'T TYPE GRADE CURBS
BLDG. TIES FL'R. GRADES	GAS LINE LOC. SIZE PRESSURE
APRON TYPE WIDTH THICKNESS	SEPTIC TANK LOCATION & DUPLICATION AREA
SIDEWALK TYPE WIDTH THICKNESS	WELL LOCATION
CULVERT TYPE DIA., LENGTH	ISOLATION RADIUS FROM WELL
ROCK OUTCROPPINGS	

REVISIONS

NO.	DATE	BY	PLAN PREPARED BY:
1			BABCOCK - JONES & ASSOCIATES, INC.
2			PAINESVILLE, OHIO
3			DRAWN BY B.P. SCALE 1"=20' PHONE NO. 440-357-1811
4			CHK'D. H.J. DATE 6/21/11 DRAWING NO. 06-147-25
5			CREW W.B. APP'D H.J.

"AS BUILT" CERTIFICATION

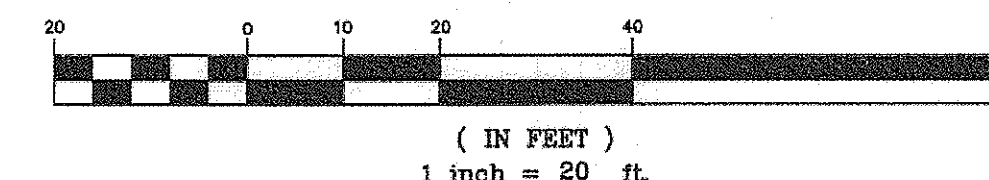
I, HEREBY CERTIFY THAT THE CIRCLED GRADES ARE EXISTING FINISH GRADES CHECKED IN THE FIELD ON 6/21/11 AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED SURVEYOR

REG. NO.

TBM - SANITARY MANHOLE
ELEV - 684.00

GRAPHIC SCALE



EXISTING UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL, HOWEVER, BABCOCK, JONES AND ASSOCIATES INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.



Grading Plan Approved
as shown and/or noted *
JAMES R. GILLS, P.E.
Lake County Engineer

By L.S. Date 6/27/2011

* GRADING WITHIN THE R.O.W.
SHALL BE AS SHOWN ON THE
SUBDIVISION IMPROVEMENT PLANS

APPROVED
SIDE LINES & SET BACK
PERRY TOWNSHIP ZONING
PERMIT NO. 8039
ZONING INSPECTOR

LOT IS LESS THAN 1 ACRE.
NO STORM WATER PERMIT NEEDED.

NOTE: ALL IRON PINS SET ARE
5/8" X 30" AND ARE CAPPED
BABCOCK, JONES & ASSOC.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	193.21	300.00	100.09	189.89	N19°46'44"W	36°54'03"
C2	95.00	330.00	47.83	94.67	N13°07'25"W	16°29'37"

AS-BUILT	PROPOSED	AS-BUILT
FF	688.5	686.0
BSMT	686.5	686.0
GAR	688.83	686.0
REAR		
AS-BUILT		AS-BUILT
686.0		686.0