

Erosion and Sediment Control Schedule

Ingress Egress

A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

Silt Fence

A silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

Temporary Seeding

Disturbed areas of the site that are to remain idle for more than twenty(21) days shall be properly seeded and straw mulched within seven(7) days of completion of initial grading. Temporary seeding and mulching to a thirty(30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

Stabilization of critical areas within fifty(50) feet of any stream or wetland shall be complete within two(2) days of the disturbance if the site is to remain inactive for longer than fourteen(14) days.

Mulching

Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty(30) feet to the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

Maintenance

Erosion and sediment controls shall be inspected every seven(7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

This plan has been prepared solely for the purpose of establishing grading, drainage, location of utility connections, and compliance with local zoning regulations and is based upon plans approved by agencies having jurisdiction. Jones Surveying, LLC does not warrant or guarantee structural components of the structure or the underlying soils.

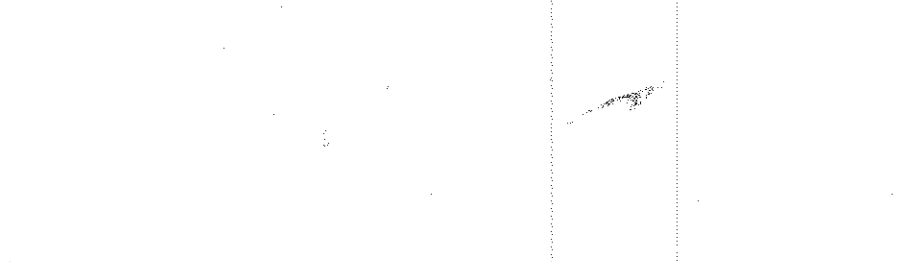
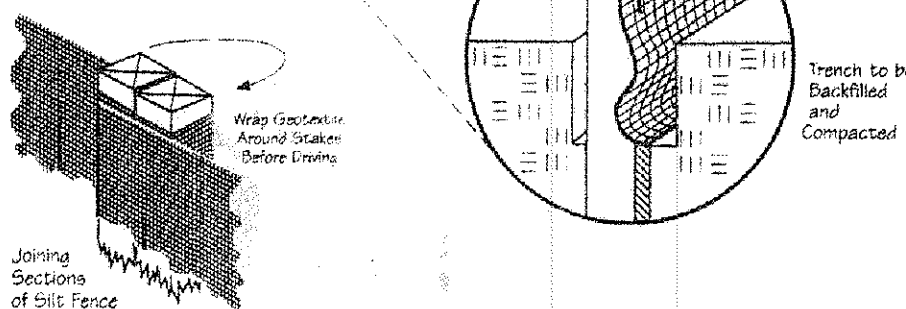
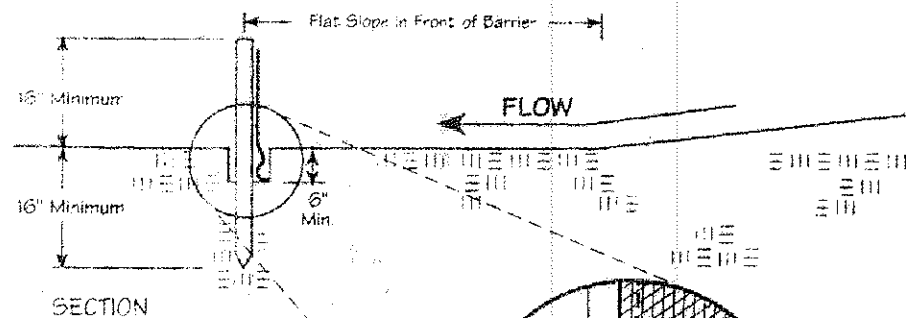
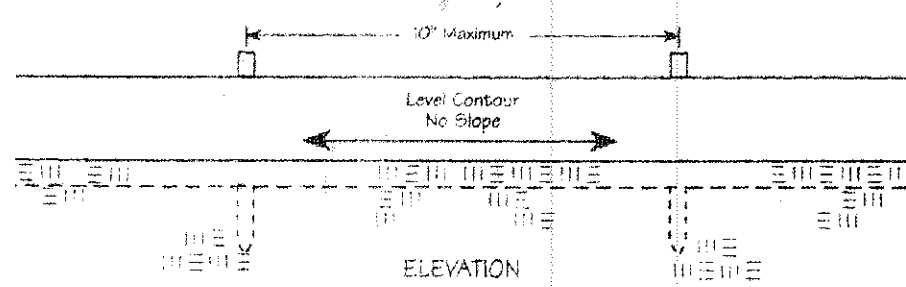
BENCHMARK: TOP OF HYD. AS NOTED

EXISTING UNDERGROUND UTILITIES NOTE:

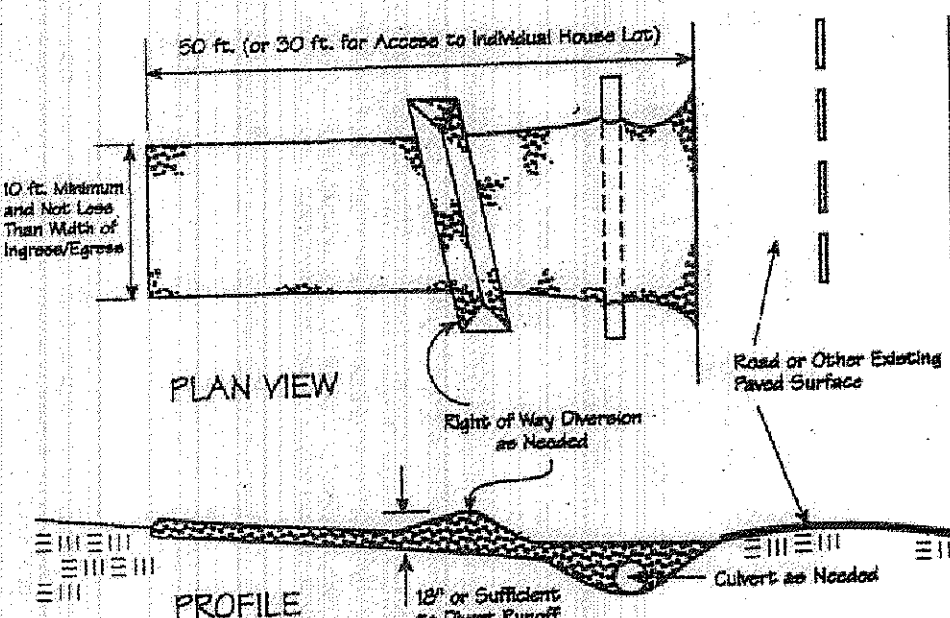
The size and location, both horizontal and vertical, of the underground utilities shown hereon, have been obtained by a diligent and comprehensive search of available records. Verification by field observation has been conducted where practical. However, Jones Surveying, LLC does not guarantee the completeness nor accuracy thereof. Contractor to verify location and depth of all utility laterals.

NOTE: House downspouts to be splash blocks; splash blocks shall be directed to the front and rear of the house. Final location of downspouts to be verified with architectural plans.

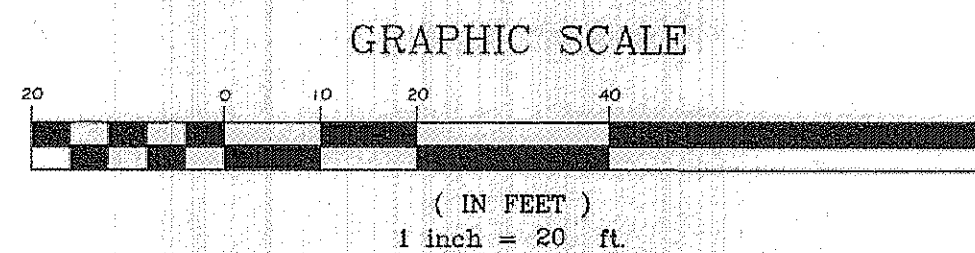
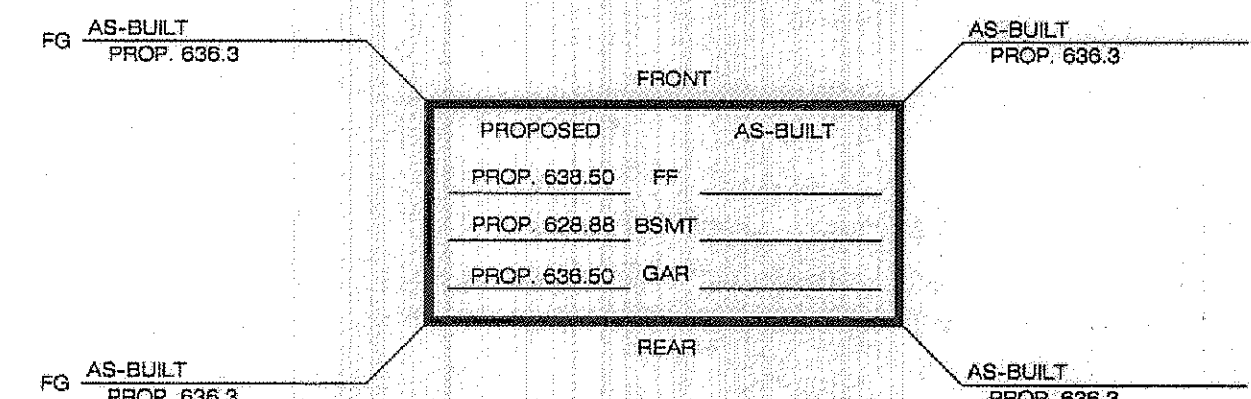
Specifications for Silt Fence



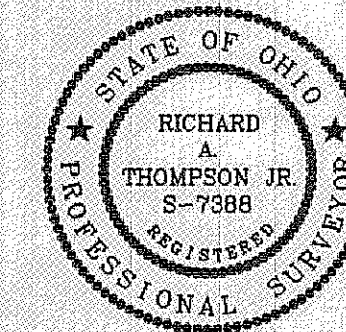
Temporary Seeding Species Selection				
Seeding Dates	Species	Lb./1,000 ft. ²	Per Ac.	
March 1 to August 15	Oats	3	4 bushel	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
	Perennial Ryegrass	1	40 lb.	
August 16 to November 1	Rye	3	2 bushel	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
	Wheat	3	2 bushel	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
November 1 to Spring Seeding	Perennial Ryegrass	1	40 lb.	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
Note: Other approved seed species may be substituted.				



CURVE TABLE				
Curve	Length	Radius	Chord	Bearing
C1	60.00'	65.00'	57.90'	N 18°42'00"E



APPROVED
MADISON TOWNSHIP ZONING
DATE: 8/16/13
BY: SK Z-4019



Approved as shown and/or noted
JAMES R. GILLS, P.E.
County Drainage Engineer
By: L.S. Date: 8/12/13

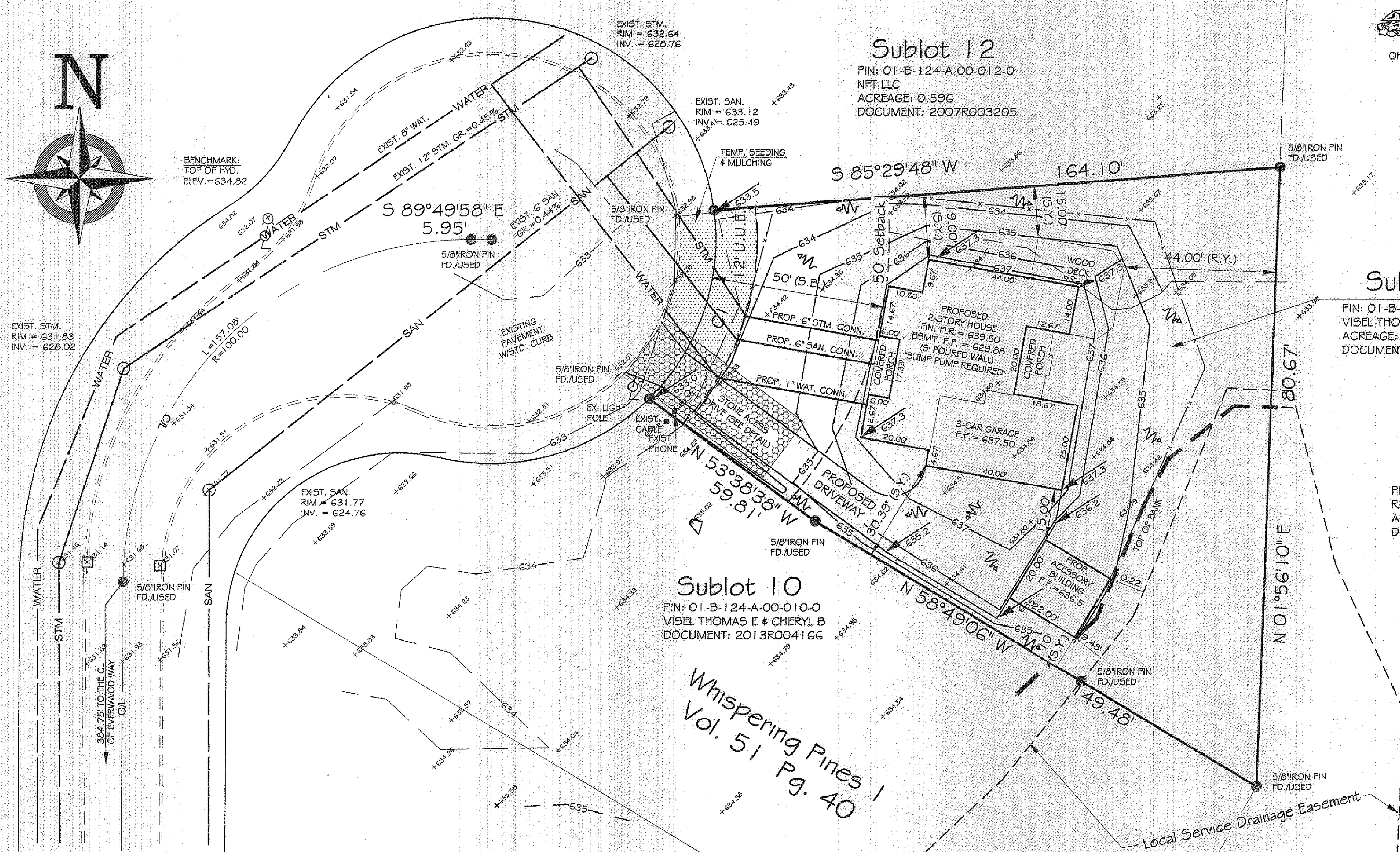
SITE PLAN CERTIFICATION:
This plan was prepared by me and is correct to the best of my knowledge and belief.

SURVEY CERTIFICATION:
I hereby certify that this plat was prepared from a field survey made under my direct supervision. Monuments were found or set as indicated. Dimensions are expressed in feet and decimal parts thereof. All of which are correct to the best of my knowledge and belief. This plat was prepared in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code. All Iron Pins Set are 5/8" x 30" long rebar and capped "H. Jones - 6343".

TOPOGRAPHIC CERTIFICATION:
I, the undersigned, hereby certify that this topography, indicated by 1" contours, and elevations shown hereon, represent an actual field survey made under my supervision on the 4TH day of MARCH, 2013, and that the elevations were taken at appropriate intervals and that as of that date they existed as indicated hereon.

Richard A. Thompson Jr. P.S. #7388

Greenbriar Lane 60'



PLAN PREPARED FOR:
VISEL THOMAS E
1555 EASTON AVE
MADISON OH 44057

ARCHITECTURAL PLANS
PREPARED BY:
THE PLAN WORKS INC.
440-255-PLAN

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

INDICATES
DIRECTION OF
SURFACE DRAINAGE

Sublot 11

PIN: 01-B-124-A-00-011-0
VISEL THOMAS E & CHERYL B
ACREAGE: 0.476
DOCUMENT: 2013R004166

PIN: 01-B-124-0-00-034-0
RICHMOND ROAD PROPERTIES LLC
ACREAGE: 11.691
DOCUMENT: 2005R035973

Sublot 10

PIN: 01-B-124-A-00-010-0
VISEL THOMAS E & CHERYL B
DOCUMENT: 2013R004166

Jones Surveying, LLC
ENGINEERS - SURVEYORS - PLANNERS
1924 MENTOR AVE., PAINESVILLE, OHIO
(PH.) 440-357-1811 (FAX) 440-357-9173
(E-MAIL) hjonesurveying@yahoo.com

Date: 8/16/13
Scale: Hor. 1"=20'
Vert.
Filename: 13-007
Tab Name: 13-007
Computer: RAT

SITE PLAN
S/L 11 WHISPERING PINES I
MADISON TOWNSHIP - LAKE COUNTY - OHIO

Sheet 1 of 1
Contract No. 13-007