

Erosion and Sediment Control Schedule

Ingress-Egress

A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

Silt Fence

A silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

Temporary Seeding

Disturbed areas of the site that are to remain idle for more than twenty-one(21) days shall be properly seeded and straw mulched within seven(7) days of completion of initial grading. Temporary seeding and mulching as a thirty(30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

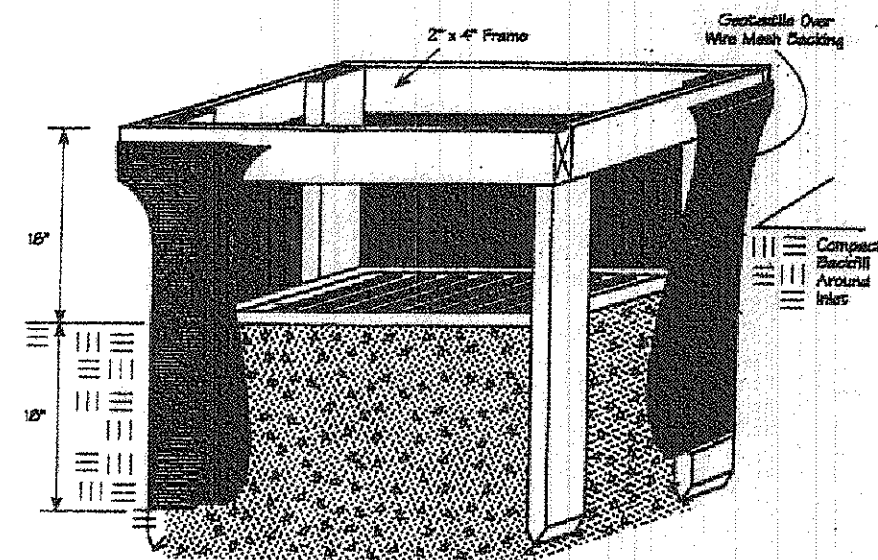
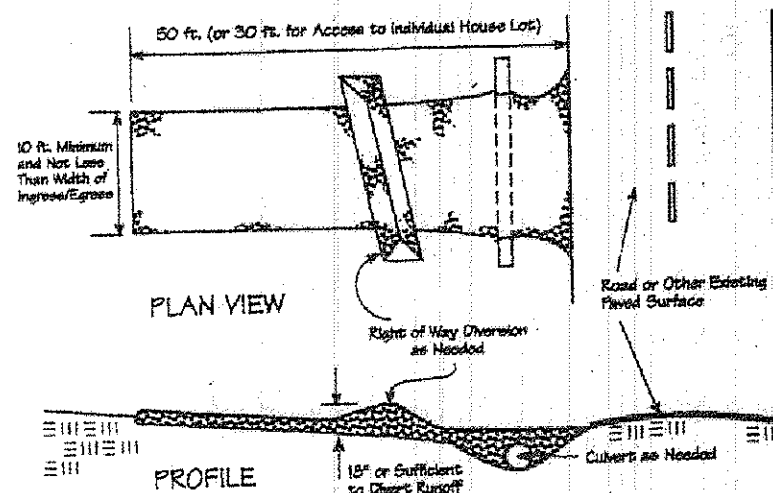
Stabilization of critical areas within fifty(50) feet of any stream or wetland shall be complete within two(2) days of the disturbance if the site is to remain inactive for longer than fourteen(14) days.

Mulching

Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty(30) feet to the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

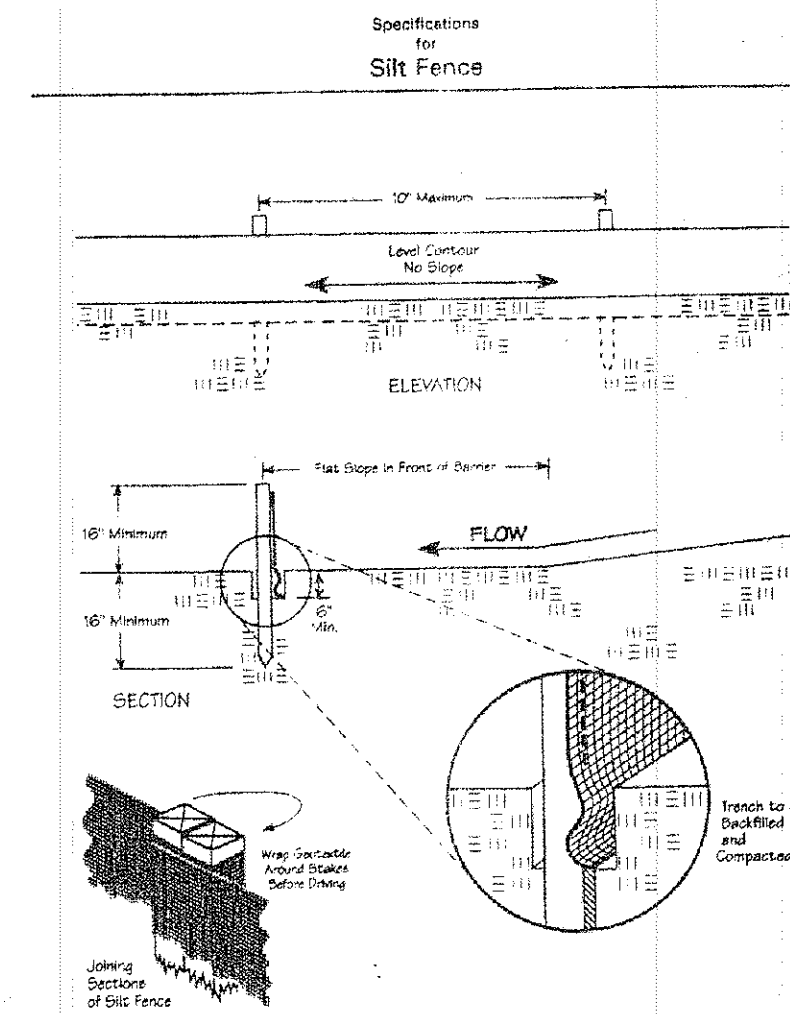
Maintenance

Erosion and sediment controls shall be inspected every seven(7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.



Seeding Dates	Species	Lb./1,000 ft. ²	Per Ac.
March 1 to August 15	Oats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
August 16 to November 1	Rye	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
November 1 to Spring Seeding	Wheat	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.

Note: Other approved seed species may be substituted.



EXISTING UNDERGROUND UTILITIES NOTE:
The size and location, both horizontal and vertical, of the underground utilities shown hereon, have been obtained by a diligent and comprehensive search of available records. Verification by field observation has been conducted where practical. However, Jones Surveying, LLC does not guarantee the completeness nor accuracy thereof.

"This plan has been prepared solely for the purpose of establishing grading, drainage, location of utility connections, and compliance with local zoning regulations and is based upon plans approved by agencies having jurisdiction. Jones Surveying, LLC does not warrant or guarantee structural components of the structure or the underlying soils."

TOPOGRAPHIC CERTIFICATION

I, the undersigned, hereby certify that this topography, indicated by 1' contours, and elevations shown hereon, represent an actual field survey made by me on the 2nd day of November, 2012, and that the elevations were taken at appropriate intervals and that as of that date they existed as indicated hereon.

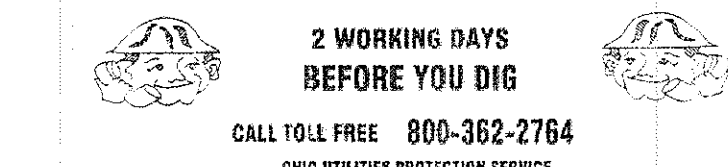
Harry S. Jones Jr. P.S. #6343



SURVEY CERTIFICATION

I hereby certify that this plat was prepared from a field survey made under my direct supervision. Monuments were found or set as indicated. Dimensions are expressed in feet and decimal parts thereof. All of which are correct to the best of my knowledge and belief. This plat was prepared in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code. All Iron Pins Set are 5/8" x 30" long rebar and capped 'H. Jones - 6343'.

Harry S. Jones Jr. P.S. #6343



BENCHMARK:
Top of Iron Pin at the Northeast Property Corner
Elevation = 973.20

Curve	Length	Radius	Chord	Bearing	Delta
C1	52.49'	420.00'	52.45'	S03°52'22"W	7°09'37"

LEROT TOWNSHIP
Zoning Approved
4401
Zoning Inspector

PIN: 07-A-005-F-00-001-0
7090 MILDON DR
VERNON THOMAS R & KATHLEEN
ZIMCOSKY
ACREAGE: 1.802
DOCUMENT: 0601/0825

Cascade Ridge Subdivision No. 3
(Vol. 15, Pg. 23)

Cascade Ridge Subdivision No. 5 (Vol. 16, Pg. 41)

PIN: 07-A-004-A-00-020-0
12891 HORIZONS DR
BENEDICT ROBERT J & CHERYL A
ACREAGE: 2.641
DOCUMENT: 1996R015285

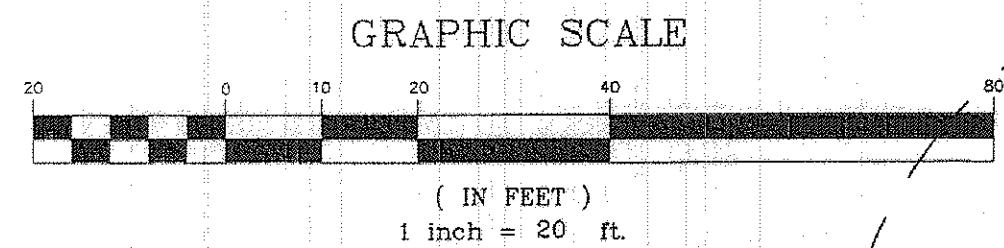
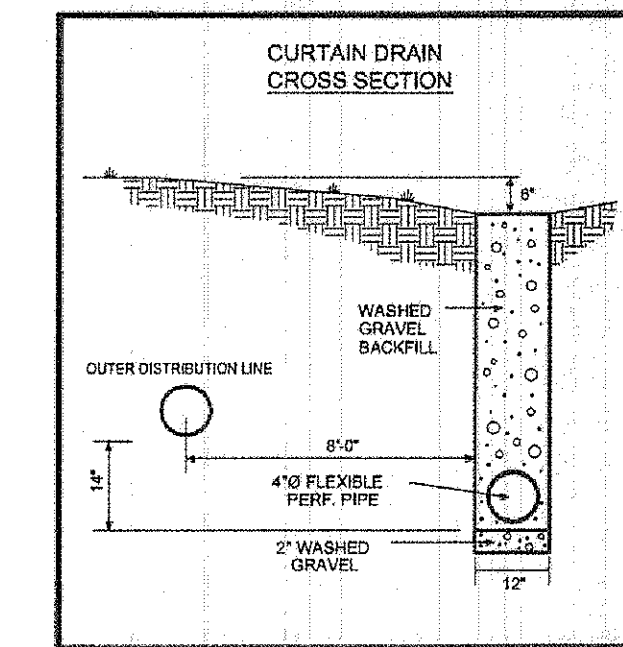
"I CERTIFY THIS SEWAGE SYSTEM DESIGN MEETS THE MINIMUM REQUIREMENTS ESTABLISHED BY THE LCGHD IN THE HSTS GUIDANCE MANUAL, AND THE REQUIREMENTS AND RECOMMENDATIONS OF THE SYSTEM MANUFACTURER."

Name: *Harry Jones* #6343
Reg. No.

SUBLOT 10
PIN: 07-A-005-A-00-055-0
LEHTONEN TIMOTHY O
ACREAGE: 1.5
DOCUMENT: 2012R027625

Cascade Ridge Subdivision No. 1 (Vol. 2, Pg. 13)

SUBLOT 11
PIN: 07-A-005-A-00-056-0
7044 MILDON DR
STANZIALE ADDO
ACREAGE: 1.5
DOCUMENT: 0728/0024



MILDON DRIVE 60'

Jones Surveying, LLC

ENGINEERS - SURVEYORS - PLANNERS
1824 MENTOR AVE., PAINESVILLE, OHIO 44040-357-1811
110-927-0170 (C) 2012 Jones Surveying, LLC

Date: 11/06/12
Scale: Hor. 1"=20'
Vert. 1"=2'
Filename: 12-137
Tab Name:
Computer: S

SITE PLAN
FOR TIMOTHY LEHTONEN
LEROT TOWNSHIP - LAKE COUNTY - OHIO

Sheet 1 of 1
Contract No. 12-137