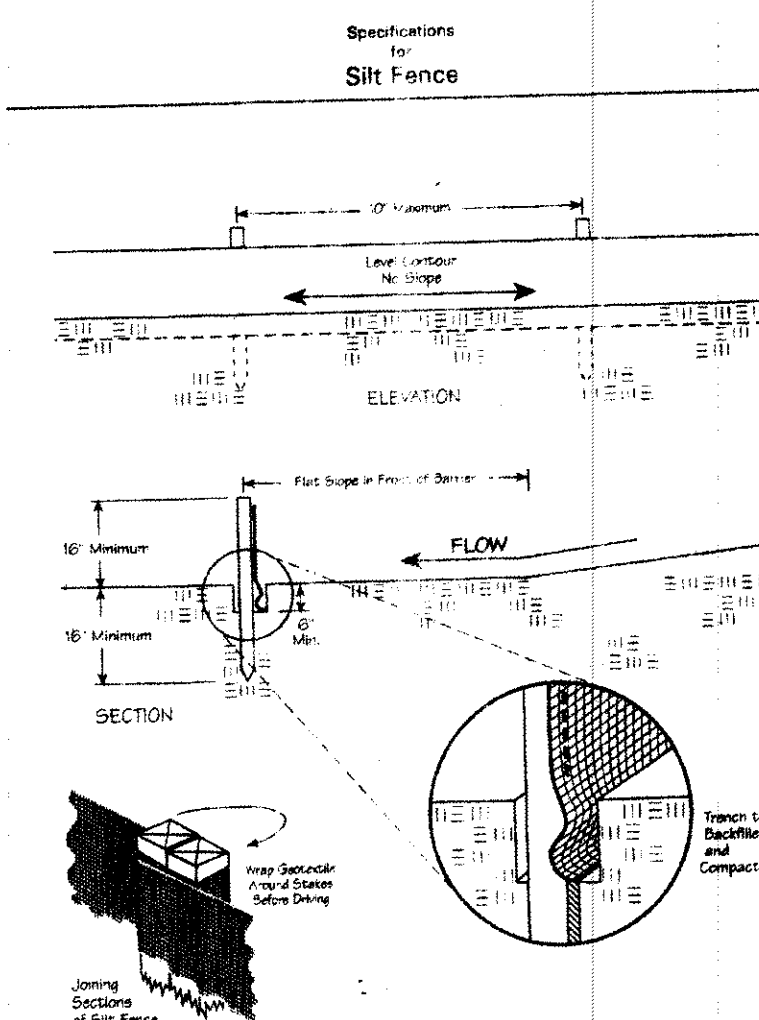


Temporary Seeding Species Selection			
Seeding Dates	Species	Lb./1,000 ft. ²	Per Ac.
March 1 to August 15	Orchard Grass	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
August 16 to November 1	Rye	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
November 1 to Spring Seeding	Wheat	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.



Erosion and Sediment Control Schedule

Ingress-Egress
A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

Silt Fence
A silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

Temporary Seeding
Disturbed areas of the site that are to remain idle for more than twenty-one(21) days shall be properly seeded and straw mulched within seven(7) days of completion of initial grading. Temporary seeding and mulching on a thirty(30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

Stabilization of critical areas within fifty(50) feet of any stream or wetland shall be complete within two(2) days of the disturbance if the site is to remain inactive for longer than fourteen(14) days.
Mulching
Straw-mulch shall be applied at a rate of 1 bale per every (10) feet of curb, at a width of thirty(30) feet to the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

Maintenance
Erosion and sediment controls shall be inspected every seven(7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

REV NO.	DESCRIPTION	DATE	BY	CHKD

LCR = 2.7
480/2.7=178'
2.7/0.6=4.5

DRIP DISTRIBUTION PLAN SUBMITTAL REVIEW

Date: 4-15-12
Name: D. J. Dool
Plans submitted to LGHD and meet hydraulic calculations verified and accurate

Curve	Length	Radius	Chord	Bearing	Delta
C1	80.00'	83.00'	76.94'	N32°22'27"E	55°13'29"

Rocking Horse Farms Subdivision No. 1 31-17

PIN: 20-A-030-D-00-017-0
8859 SHETLAND CT
GLOWE BRIAN & KATHY
DOCUMENT: 2003R062123
SUBLOT 17

PIN: 20-A-031-B-00-017-0
10640 BAYSHIRE TL
SELVAGGIO BRANDON
DOCUMENT: 2003R11169

PIN: 20-A-031-B-00-016-0
10650 BAYSHIRE TL
BAILEY MARK A & MIRA C
DOCUMENT: 2003R062282

PIN: 20-A-030-D-00-018-0
8857 SHETLAND CT
FREEBURG DAVID A & ANTOINETTE E
ACREAGE: 1.801
DOCUMENT: 31 / 17
SUBLOT 18

PIN: 20-A-888-0-01-150-0
EAST OHIO GAS

PIN: 20-A-888-0-00-150-0
EAST OHIO GAS

"Vacant Lot"
PIN: 20-A-030-D-00-019-0
8858 SHETLAND CT
ROCKING HORSE FARMS LTD
DOCUMENT: 31 / 17
SUBLOT 19

Site Plan

Kirtland, Lake County, Ohio

for: Mark Horne - Artistic Design Homes.

ADDRESS	STREET	CITY
Rocking Horse No. 1	3	
SUBDIVISION	NAME	TRACT
31-17	30	30
SUBLOT NO.	STREET	LOT
18	Shetland Court	20A-30D-18
		PERM. PAR.

LEGEND

SANITARY MANHOLE	AS BUILT ELEVATION
STORM MANHOLE	INDICATES DIRECTION OF SURFACE DRAINAGE
INLET OR CATCH BASIN	
HYDRANT	
EXISTING CONTOURS	
PROPOSED CONTOURS	

REMARKS

ALL BOUNDARY DATA SHOWN WAS OBTAINED FROM (DEEDS, RECORDED SUBDIVISION PLAT OR OTHER PUBLIC RECORDS)
LOCATIONS AS SHOWN OF ADJACENT WELLS AND SEPTIC TANKS OBTAIN FROM LAKE COUNTY HEALTH DEPARTMENT

DESIGN CERTIFICATION

THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
HARRY S. JONES JR. 6343
SURVEYOR REGISTRATION NO. 6343

CHECK LIST

NO. OF BEDROOMS	WATER MAIN SIZE, LOCATION
DIMENSIONS	SEWER SIZE & GR. LOC.
BEARINGS	SAN. MH. CAST. ELEV. INV. ELEV.
TIE TO NEAREST STREET	SAN. CONN. SIZE, LOC. DEPTH
SUBLOT NO. PARCEL NO.	STORM SEWER SIZE & GR. LOC.
SURROUNDING OWNERS	STORM MH. CAST. ELEV. INV. ELEV.
BLDG. DIMENSIONS PIN GR.	PAV'T TYPE GRADE CURBS
BLDG. TIES FLR. GRADES	GAS LINE LOC. SIZE PRESSURE
APRON TYPE WIDTH THICKNESS	SEPTIC TANK LOCATION & DUPL.
SEWER TYPE WIDTH THICKNESS	WELL LOCATION
CULVERT TYPE DIA. LENGTH	ISOLATION RADIUS FROM WELL
ROCK OUTCROPPINGS	

REVISIONS	NO.	DATE	BY
1			
2			
3			
4			
5			

PLAN PREPARED BY:
BABCOCK - JONES + ASSOCIATES, INC.
1924 MENTOR AVE., PAINESVILLE, OHIO 44077-1111
DRAWN BY: C.A.D. SCALE: 1"=30'
CHKD: H.J. DATE: 4/11/12
CREW: J.A. APPD: H.J. 12-00

"AS BUILT" CERTIFICATION
I, HEREBY CERTIFY THAT THE CIRCLED GRADES ARE EXISTING FINISH GRADES CHECKED IN THE FIELD ON 4/11/12 AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

HARRY S. JONES JR. - REGISTERED SURVEYOR REG. NO. 6343

EXISTING UNDERGROUND UTILITIES NOTE:

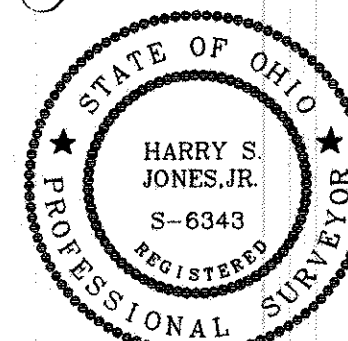
"The size and location, both horizontal and vertical, of the underground utilities shown hereon, have been obtained by a diligent and comprehensive search of available records. Verification by field observation has been conducted where practical. However, Babcock - Jones & Associates, Inc. does not guarantee the completeness nor accuracy thereof."

"This plan has been prepared solely for the purpose of establishing grading, drainage, location of utility connections, and compliance with local zoning regulations and is based upon plans approved by agencies having jurisdiction. Babcock - Jones & Associates, Inc. does not warrant or guarantee structural components of the structure or the underlying soils."

BENCHMARK:
Storm M.H. Rim = 1088.86 (in front of Subject Lot)

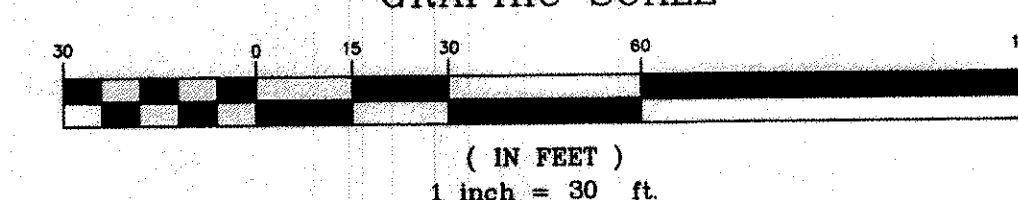
I, the undersigned, hereby certify that this topography, indicated by 1' contours, and elevations shown hereon, represent an actual field survey made by John Alban P.S. on the 12th day of March 2012, and that the elevations were taken at appropriate intervals and that as of that date they existed as indicated hereon.

Harry S. Jones Jr. 6343
Harry S. Jones Jr. P.S. 6343



Stormwater Management Plan
Approved as shown and/or noted
JAMES R. GILLS, P.E.
County Drainage Engineer
By: L.S. Date: 4/26/12

GRAPHIC SCALE



BABCOCK, JONES AND ASSOCIATES, INC

CIVIL ENGINEERS - SURVEYORS - LAND PLANNERS
1924 MENTOR AVE. PAINESVILLE OHIO 44077
Ph. 440-357-1811 Fax 440-357-9173 babcockjones@yahoo.com

SCALE	1"=
JOB NO.	12
SHEET	1