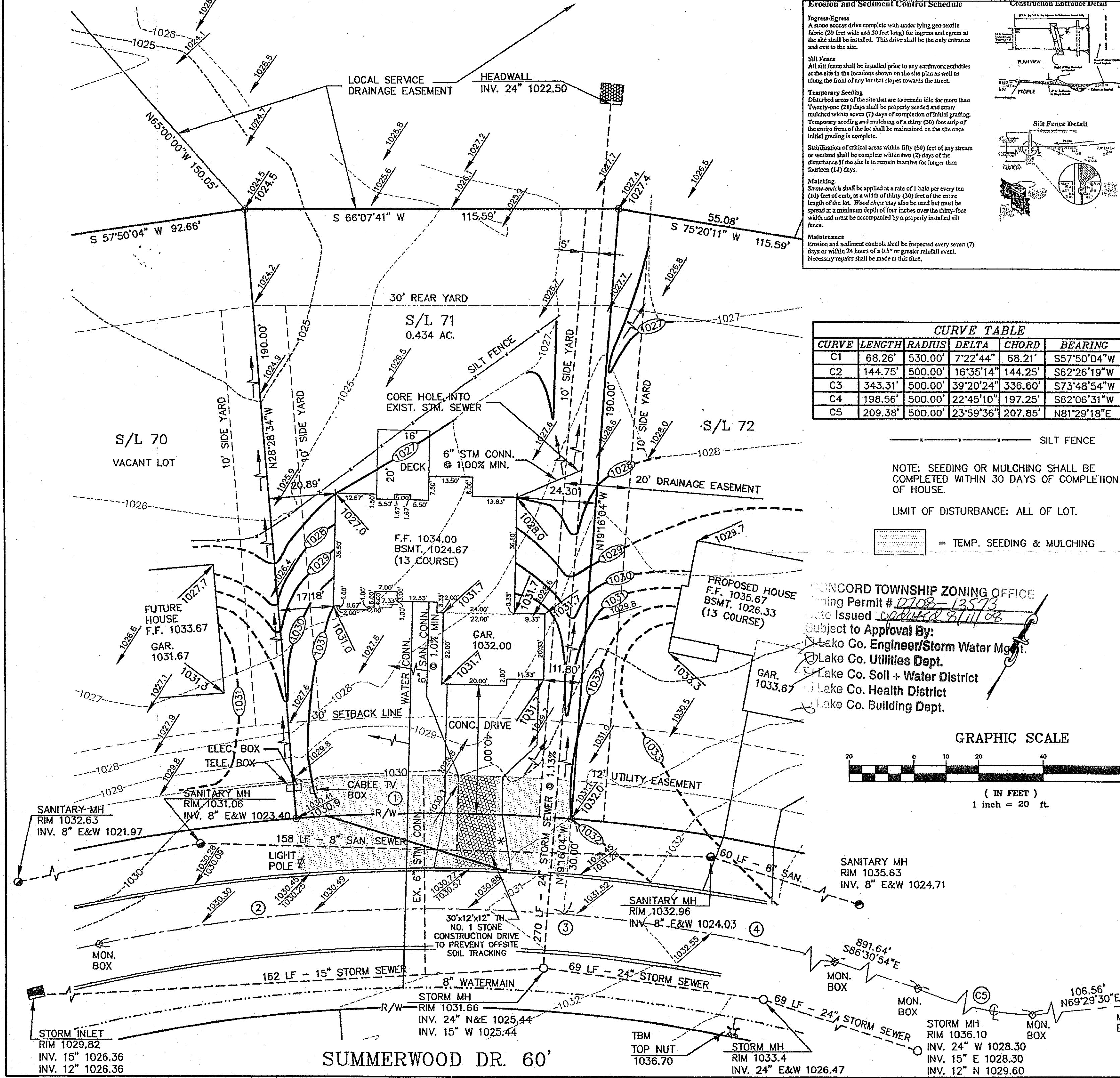




Erosion and Sediment Control Schedule

Ingress-Egress
A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

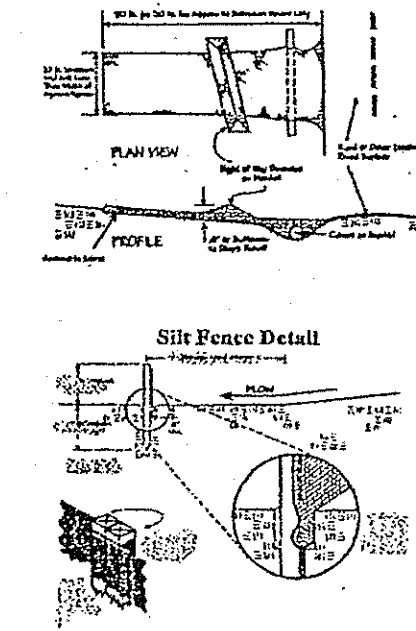
Silt Fence
All silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

Temporary Seeding
Disturbed areas of the site that are to remain idle for more than Twenty-one (21) days shall be properly seeded and straw mulched within seven (7) days of completion of initial grading. Temporary seeding and mulching of a thirty (30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

Stabilization of critical areas
Within fifty (50) feet of any stream or wetland shall be complete within two (2) days of the disturbance if the site is to remain inactive for longer than fourteen (14) days.

Mulching
Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty (30) feet of the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

Maintenance
Erosion and sediment controls shall be inspected every seven (7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	68.26'	530.00'	7°22'44"	68.21'	S57°50'04"W
C2	144.75'	500.00'	16°35'14"	144.25'	S62°26'19"W
C3	343.31'	500.00'	39°20'24"	336.60'	S73°48'54"W
C4	198.56'	500.00'	22°45'10"	197.25'	S82°06'31"W
C5	209.38'	500.00'	23°59'36"	207.85'	N81°29'18"E

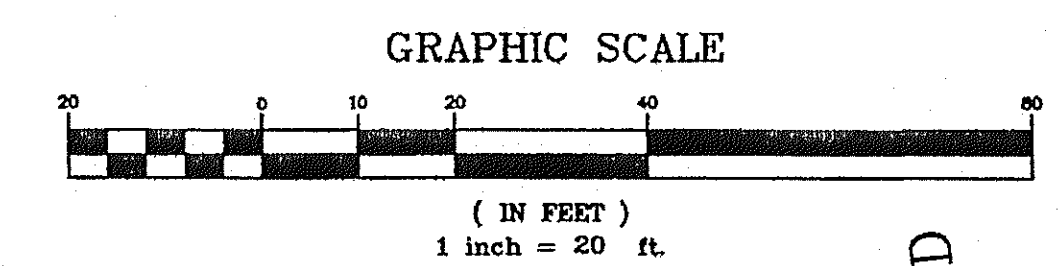
— x — x — x — SILT FENCE

NOTE: SEEDING OR MULCHING SHALL BE COMPLETED WITHIN 30 DAYS OF COMPLETION OF HOUSE.

LIMIT OF DISTURBANCE: ALL OF LOT.

■ = TEMP. SEEDING & MULCHING

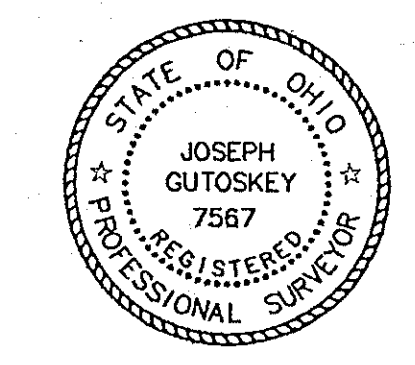
CONCORD TOWNSHIP ZONING OFFICE
Zoning Permit # D108-13573
Permit Issued 08/11/08
Subject to Approval By:
Lake Co. Engineer/Storm Water Mgmt.
Lake Co. Utilities Dept.
Lake Co. Soil + Water District
Lake Co. Health District
Lake Co. Building Dept.



for: **20th CENTURY CONSTRUCTION**
2167 MENTOR AVENUE PAINESVILLE
ADDRESS STREET CITY
71 SUMMERWOOD 54 - 28
SUBLOT No. SUBDIVISION NAME VOL PAGE
CONCORD OHIO
LOT TOWNSHIP

GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors & Land Planners
17078 Munn Road, Suite 3 Tel (440) 543-6900
Chagrin Falls, Ohio 44023 Fax (440) 543-7176

CHECK LIST
LOT DIMENSIONS & BEARINGS
TIE TO NEAREST STREET
SUBLOT No. (PARCEL No.)
SURROUNDING OWNERS
BUILDING DIMENSIONS
SETBACK SIDEYARD, REARYARD
FINISHED GRADES
DRIVE & APRON TYPE, WIDTH, THICKNESS
SIDEWALK TYPE, WIDTH, THICKNESS
CULVERT TYPE, DIAM., LENGTH
WATER MAIN SIZE, LOCATION
SAN. SEWER SIZE, % GRADE, LOCATION
SAN. M.H. CAST. ELEV., INV. ELEV.
SAN. CONN. SIZE, % GRADE, LOCATION
STORM SEWER SIZE, % GRADE, LOCATION
STORM M.H. CAST. ELEV., INV. ELEV.
PAVT. TYPE GRADE, CURBS
GAS LINE LOC. SIZE
SEPTIC SYSTEM & DUPLICATION
WELL LOCATION & ISOLATION RADIUS



DESIGN CERTIFICATION
THIS PLAT WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.
Joseph Gutoskey P.S. #7567 DATE 8/11/08

"AS-BUILT" CERTIFICATION
I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE 20 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
JOSEPH GUTOSKEY P.S. #7567

LEGEND		DRAWN BY	SCALE
STORM MANHOLE	○	CB	1"=20'
SANITARY MANHOLE	⊙	CHK'D BY	DATE
EXISTING CONTOURS	--- 100 ---	JG	7/2008
PROPOSED CONTOURS	--- 100 ---	REV. 7/23/2008	
EXIST. ELEV.	100.0	REV. 8/7/2008	
100.0 PROP. ELEV.			
DIRECTION OF SURFACE DRAINAGE	→		

⊙ = 5/8" IRON PIN SET

* DRIVE APRON SHALL BE 6" THICK CONCRETE.
2 WORKING DAYS BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE
CONTRACTOR SHALL VERIFY ELEVATIONS OF LATERAL INVERTS IN THE FIELD AT THE TIME OF FOUNDATION EXCAVATION.

BENCHMARK: TOP NUT HYDRANT
ELEV. 1036.70
Stormwater Management Plan
Approved as shown and/or noted
JAMES R. GILLS, P.E.
County Drainage Engineer
By 611 Date 8/12/08

CONCORD-HAMBLEN ROAD
(S.R. 608) - 60'

SITE PLAN

for: 20th CENTURY CONSTRUCTION
 2167 MENTOR AVENUE PAINESVILLE
 ADDRESS STREET CITY
 71 SUMMERWOOD 54 - 28
 SUBLOT No. SUBDIVISION NAME VOL. PAGE
 CONCORD OHIO
 LOT TOWNSHIP

GUTOSKEY & ASSOCIATES INC.
 Civil Engineers, Surveyors & Land Planners
 17078 Munn Road, Suite 3 Tel (440) 643-6900
 Chagrin Falls, Ohio 44023 Fax (440) 643-7178
 Stormwater Management Plan
 Approved as shown and/or noted
 JAMES R. GUTOSKEY, P.E.

CHECK LIST
 LOT DIMENSIONS & BEARINGS
 TIE TO NEAREST STREET
 SUBLOT No. (PARCEL No.)
 SURROUNDING OWNERS
 BUILDING DIMENSIONS
 SETBACK, SIDEYARD, REARYARD
 FINISHED GRADES
 DRIVE & APRON TYPE, WIDTH, THICKNESS
 SIDEWALK TYPE, WIDTH, THICKNESS
 CULVERT TYPE, DIAM., LENGTH
 WATER MAIN SIZE, LOCATION
 SAN. SEWER SIZE, % GRADE, LOCATION
 SAN. M.H. CAST. ELEV., INV. ELEV.
 SAN. CONN. SIZE, % GRADE, LOCATION
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 PAVT. TYPE, GRADE, CURBS
 GAS LINE LOC. SIZE
 SEPTIC SYSTEM & DUPLICATION
 WELL LOCATION & ISOLATION RADIUS

By *re-submitted* Date *7/18/08*
8/12/08

STATE OF OHIO
 JOSEPH GUTOSKEY
 7567
 PROFESSIONAL SURVEYOR

STATE SEAL

DESIGN CERTIFICATION
 THIS PLAT WAS PREPARED BY ME, AND IS CORRECT
 TO THE BEST OF MY KNOWLEDGE
Joseph Gutoskey P.S. #7567 DATE *7/11/08*

"AS-BUILT" CERTIFICATION
 I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING
 AS OBTAINED ON THE SITE 20 AND IS
 CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 JOSEPH GUTOSKEY P.S. #7567

LEGEND	DRAWN BY	SCALE
STORM MANHOLE	CB	1"=20'
SANITARY MANHOLE	CHK'D BY	DATE
EXISTING CONTOURS	JG	7/2008
PROPOSED CONTOURS	REV.	
EXIST. ELEV.	REV.	
100.0 PROP. ELEV.	REV.	
DIRECTION OF SURFACE DRAINAGE	REV.	

Erosion and Sediment Control Schedule
 Legume-Grass
 A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for legume and grass at the site shall be installed. This drive shall be the only entrance and exit to the site.
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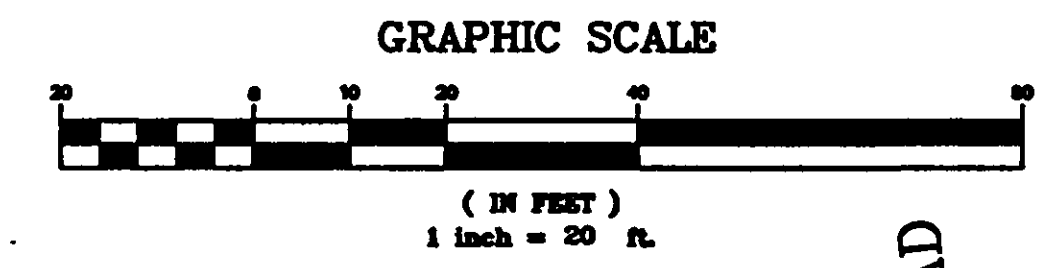
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— TEMP. SEEDING & MULCHING



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BENCHMARK: TOP NUT HYDRANT
 ELEV. 1036.70

CONCORD TOWNSHIP ZONING OFFICE
 Zoning Permit # *0208-13523*
 Date Issued *7/14/08*
 Subject to Approval By:
☒ Lake Co. Engineer/Storm Water Mgmt.
☒ Lake Co. Utilities Dept.
☒ Lake Co. Soil + Water District
☒ Lake Co. Health District
☒ Lake Co. Building Dept.

CONTRACT NO.
 05-2000-71

