

GENERAL NOTES:

1. BENCHMARK - SANITARY MH RIM IN FRONT OF SUBLOT 276. ELEVATION 971.25
2. DRIVEWAY APRON TO BE 6" THICK CONCRETE.
3. ALL DOWNSPOUTS TO BE OUTLETED TO SPLASH BLOCKS.
4. CONTRACTOR RESPONSIBLE FOR CONTACTING THE OHIO UTILITY PROTECTION SERVICE 1 (800) 362-2764 AND ALL UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
5. THE LOCATION BOTH HORIZONTAL AND VERTICAL OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A DILIGENT AND COMPREHENSIVE SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL, HOWEVER, OXBOW ENGINEERING, INC. DOES NOT GUARANTEE THE COMPLETENESS, NOR ACCURACY THEREOF.
6. CONTRACTOR SHALL VERIFY ELEVATIONS OF LATERAL INVERTS IN THE FIELD PRIOR TO FOUNDATION EXCAVATION.
7. EROSION AND SEDIMENT-CONTROL PRACTICES TO BE INSTALLED AS DESCRIBED IN THE RAIN WATER LAND DEVELOPMENT MANUAL AS DIRECTED BY THE LAKE COUNTY SOIL AND WATER CONSERVATION DISTRICT.
8. TEMPORARY SEEDING SHALL BE APPLIED ON ALL DISTURBED SOIL THAT WILL NOT BE REWORKED WITHIN 30 DAYS. THESE IDLE AREAS TO BE SEEDD WITHIN 7 DAYS.

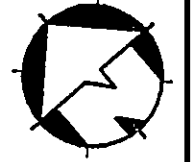
NOTE:
GRADE REAR YARD TO DIRECT
STORMWATER TO SIDE OF HOUSE.

Stormwater Management Plan
Approved as shown and/or noted
JAMES R. GILLS, P.E.
County Drainage Engineer

(C12) A=144.33'
R=520.00' By GH Date 3/18/04
Δ=15°54'11"
C=143.87'
N 52°10'31" W



FRANK E. WALLAND, P.S. NO. 7556



CONCORD TOWNSHIP ZONING OFFICE

PERMIT # 0304-71492

DATE 3/18/04

SUBJECT TO APPROVAL BY:

☐ Lake Co. Planning Comm.

☐ Lake Co. Building Dept.

☐ Lake Co. Soil & Water Cons. Dist.

SCALE: 1"=20'

DATE: 1-6-04

DRAWN BY: SLS

CHECKED BY: FEW

NO. 1 REVISION

oxbow

Engineering, Inc.

10 West Erie Street, Suite 201 Palmyra, Ohio 44077

Phone (440) 353-8550 Fax (440) 353-8196

oxbow@alltel.com

SITE PLAN

QUAIL HOLLOW NO.9

SUBLOT 276

CONCORD TOWNSHIP - LAKE COUNTY - OHIO