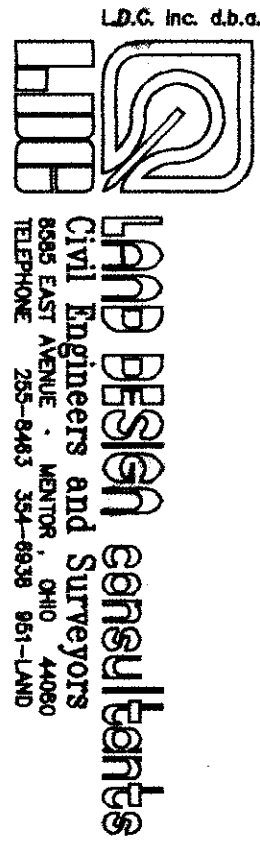


SITE PLAN

for : WILSHIRE HOMES CLIENT

1701 MENTOR AVE. STREET PAINESVILLE CITY

SUBLOT No. 1 AUBURN RIDGE VOL. PAGE
TRACT 3 SUBDIVISION NAME CONCORD OHIO
TOWNSHIP



DESIGN CERTIFICATION

THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CHECK LIST

DATE 5-1-97
NAME [Signature]
L&D DESIGN & SURVEYING
1701 MENTOR AVE., PAINESVILLE, OHIO 44061
255-5443 354-0028 861-1260

"AS BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXACTLY AS OBTAINED ON THE SITE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME	DRAWN BY	SCALE
LEGEND	JBR/GSV	1"=20'-0"
STORM MANHOLE	CHKD. BY	DATE
PROPOSED CONDUIT	J.B.R.	APRIL, 1997
DEPT. ELEV. 100.0		
100.0 PROP. ELEV.		
DIRECTION OF FLOW	1	2

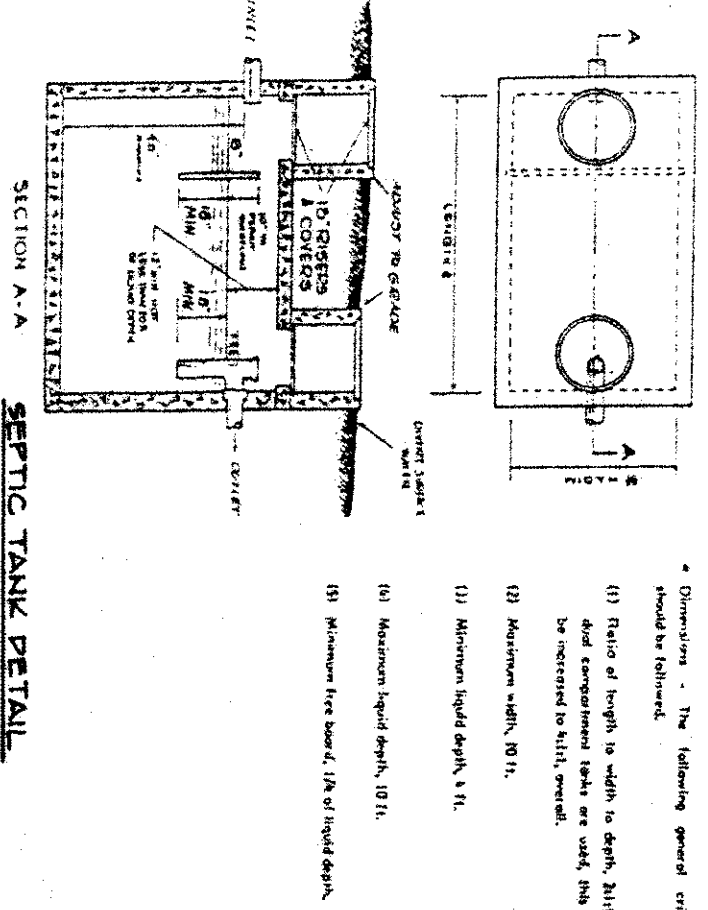
BENCHMARK: TOP OF HYDRAULIC CROSS

PROUDLY BOND. ELEV. 786.44

Grading Plan Approved
as shown and/or noted
THOMAS P. GILLES, P.E.
Lata County Engineer

By: [Signature] Date: 5-9-97

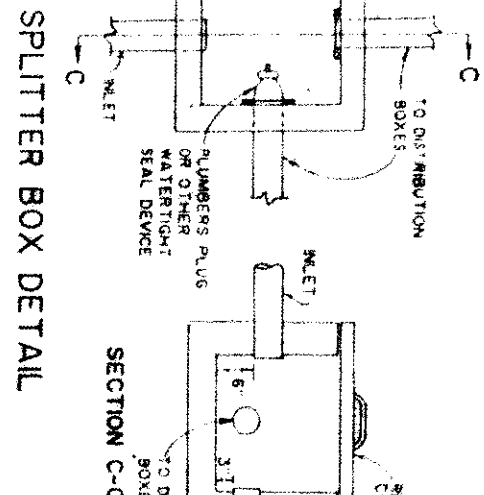
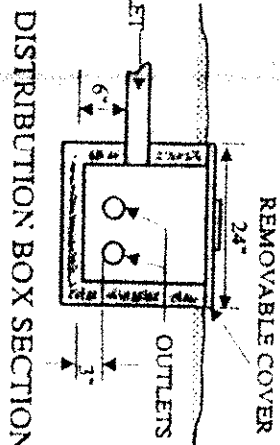
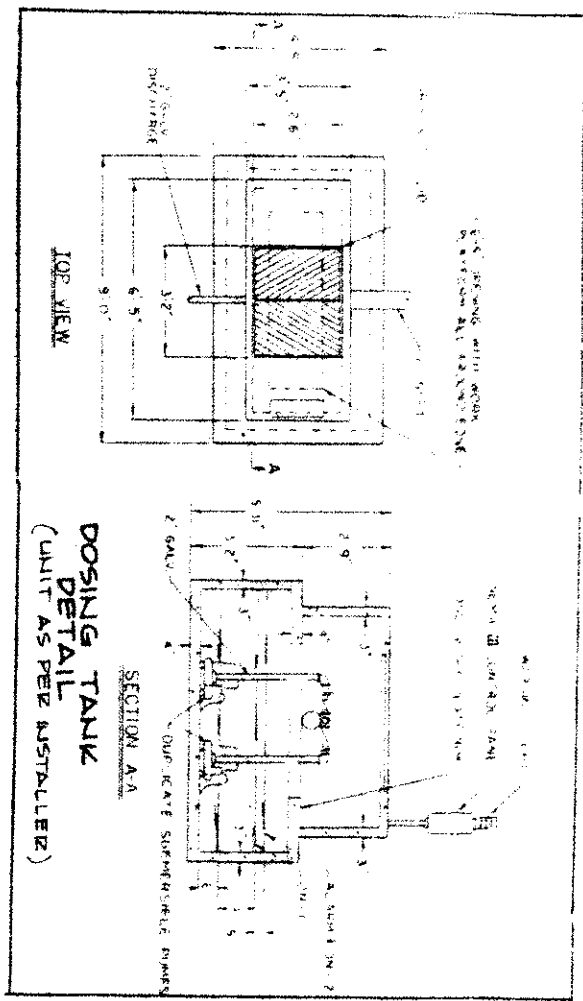
EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE & LOCATION BOTH HORIZONTAL AND VERTICAL
OF THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN
VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED
WHERE PRACTICAL, HOWEVER, LDC INC. DOES NOT
GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.



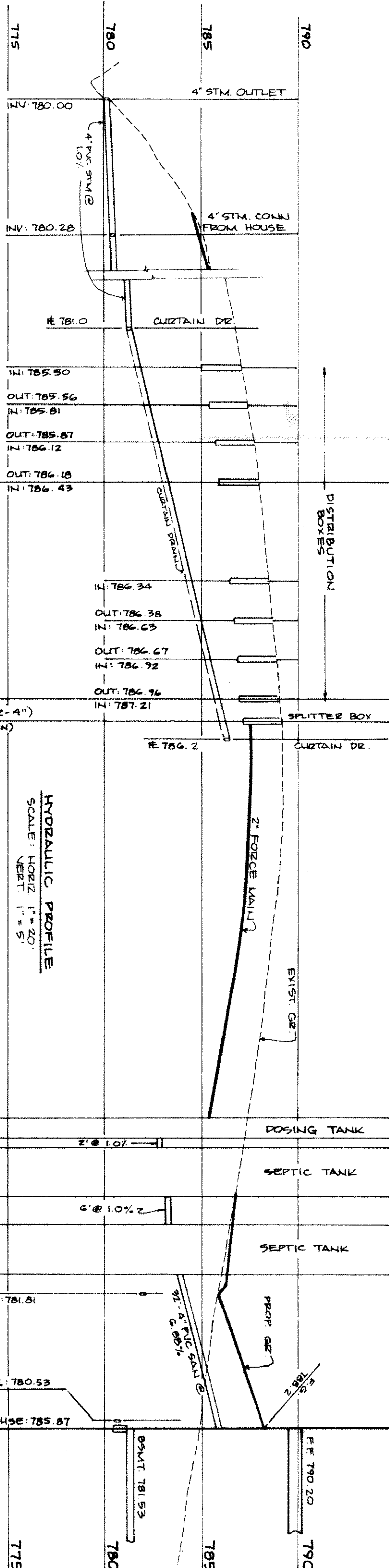
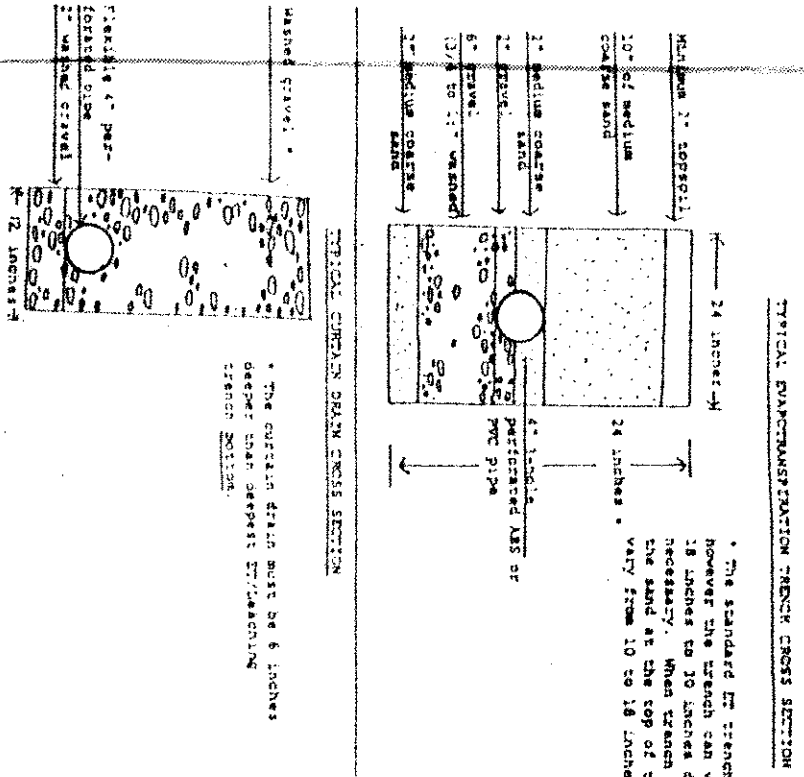
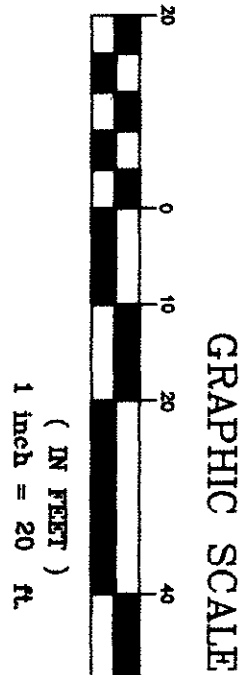
SEPTIC TANK DETAIL

PROUTY ROAD 60'

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-1	150.00	83.78	43.01	82.69	N 15°17'37" W	32°00'00"
C-2	200.00	111.70	57.35	110.25	N 15°17'37" W	32°00'00"



ISSUED: 5/1/97
ZONING PERMIT #0597-8724
SUBJECT TO APPROVAL BY:
Lata County Engineer, P.E.
Lata County Eng. Dept.
Lata County Planning Comm.
Lata County Bldg. Dept. [X]



HYDRAULIC PROFILE
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

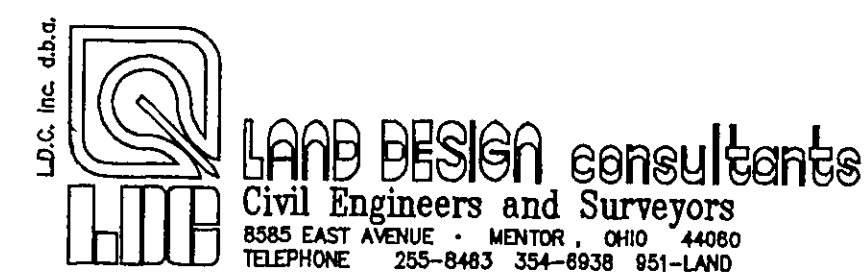
SEPTIC TANK DETAIL

DWG. NAME
WILSH-9701

SITE PLAN

for : **WILSHIRE HOMES** CLIENT
1701 MENTOR AVE. ADDRESS **PAINESVILLE** CITY

1 SUBLOT No. **AUBURN RIDGE** SUBDIVISION NAME **VOL.** **PAGE**
7 LOT **3** TRACT **CONCORD** TOWNSHIP **OHIO**

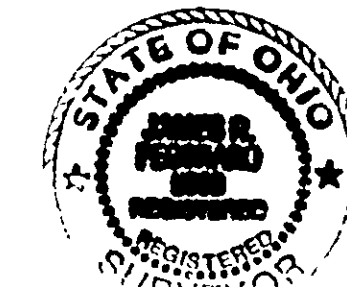


DESIGN CERTIFICATION
 THIS PLAT WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME _____

CHECK LIST

LOT DIMENSIONS & BEARINGS
 TO NEAREST STREET
 SUBLOT No. (PARCEL No.)
 SURROUNDING OWNERS
 BUILDING DIMENSIONS
 SETBACKS, SIDEWALK, REAR YARD
 FINISHED GRADES
 EXISTING & PROPOSED THICKNESS
 SIDEWALK TYPE, WIDTH, THICKNESS
 CEMENT TYPE, LOCATION
 WATER MAIN SIZE, LOCATION
 SAN. MAN. SIZE, LOCATION
 SAN. MAN. CAST IRON, INV. ELEV.
 STORM SEWER SIZE, GRADE, LOC.
 STORM MAN. CAST IRON, INV. ELEV.
 PAV'T TYPE, GRADE, CURBS
 GAS LINE LOC. SIZE
 SEPTIC SYSTEM & DUPLICATION
 WELL LOCATION & ISOLATION RADIUS



"AS BUILT" CERTIFICATION
 I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE 1994 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME _____

LEGEND

STORM MANHOLE
 SANITARY MANHOLE
 EXISTING CONTOURS
 PROPOSED CONTOURS
 EXIST. ELEV. 100.0
 100.0 PROP. ELEV.
 DIRECTION OF SURFACE DRAINAGE

DRAWN BY JBR/ GSV
CHK'D BY J.B.R.
SCALE 1"=20'-0"
DATE APRIL, 1997

ACCEPTED: _____ CLIENT _____ DATE _____

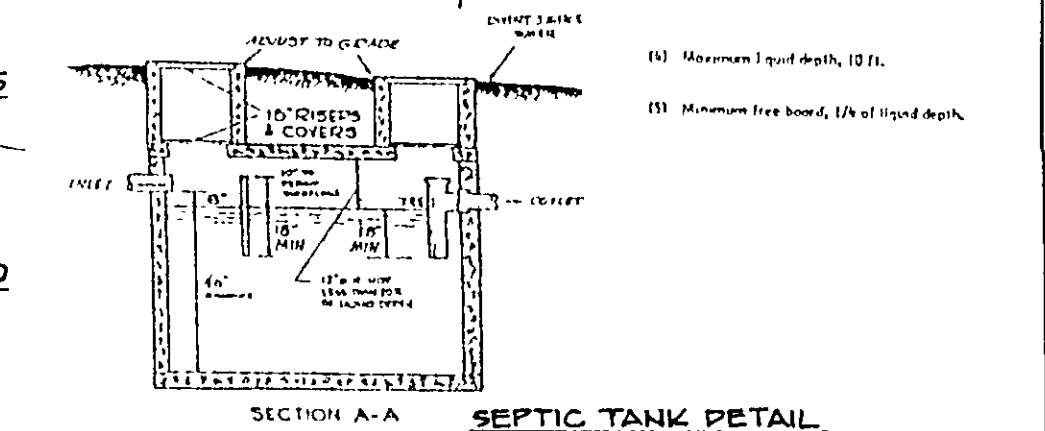
BENCHMARK: TOP OF HYDRANT ACROSS PROUTY ROAD. ELEV: 785.44

Grading Plan Approved as shown and/or noted
THOMAS P. GILLES, P.E.
 Lake County Engineer

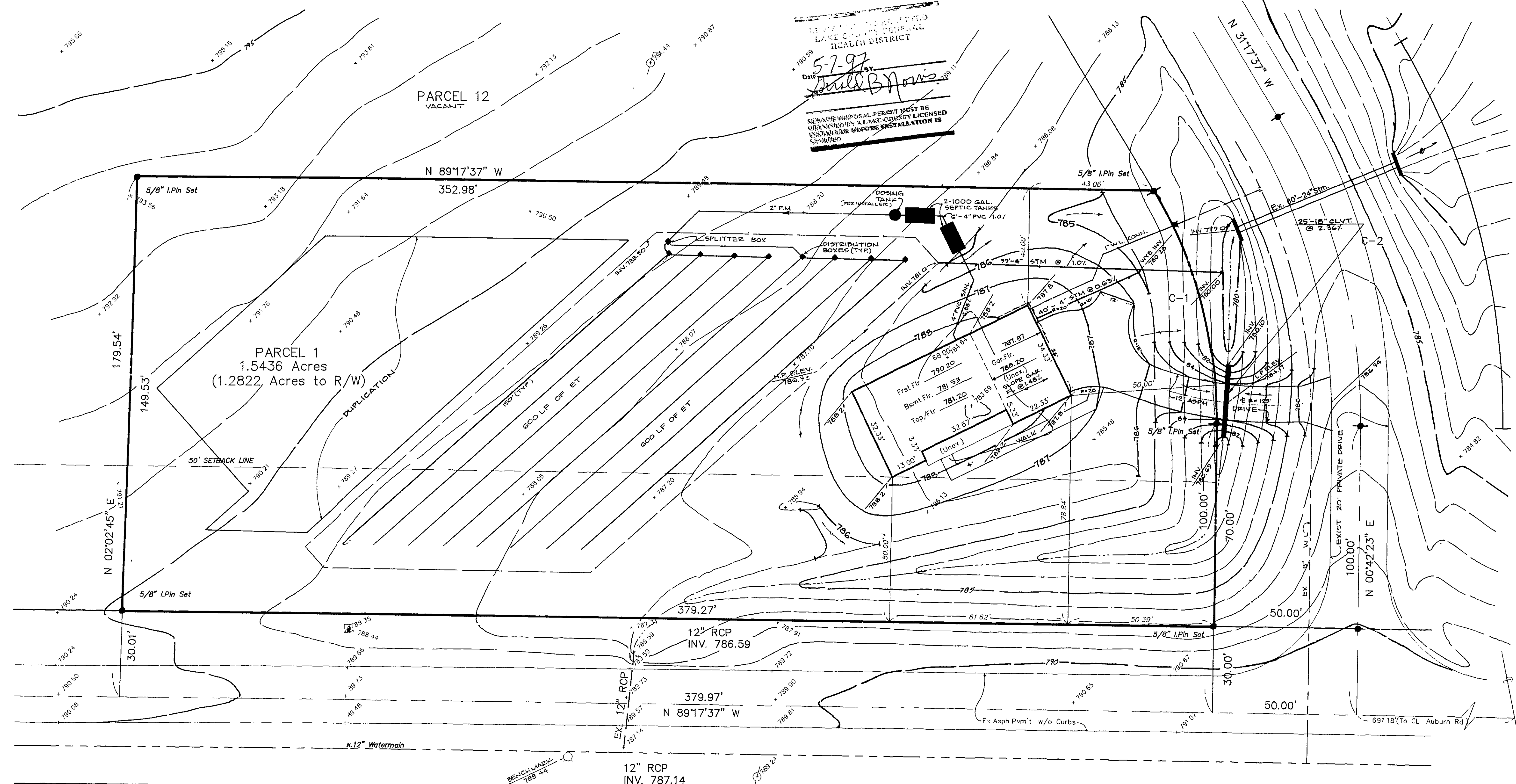
By 6.11 Date 5-9-97

EXISTING UNDERGROUND UTILITIES NOTE:
 THE SIZE & LOCATION BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, LDC INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

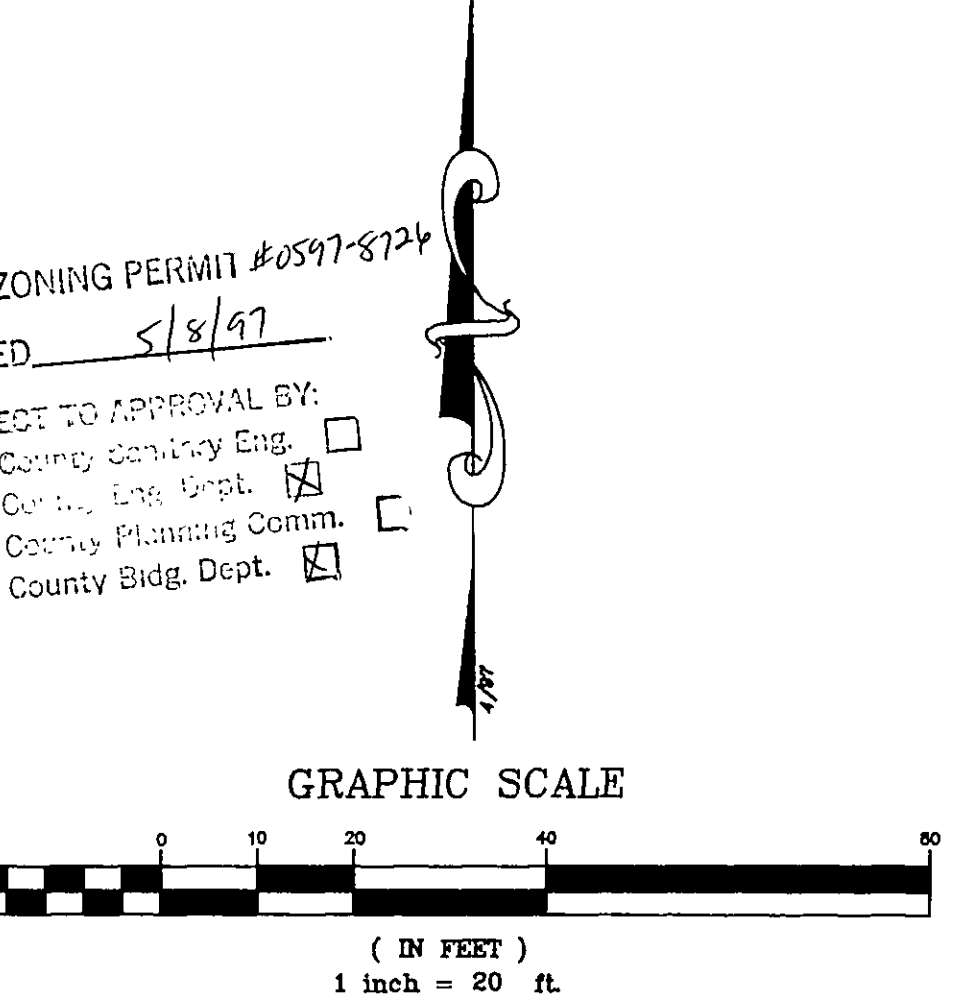
Dimensions - The following general notes should be followed:
 (1) Plans of length to width to depth, 21st, if not accompanied table are used, this may be measured to 1/8" nearest.
 (2) Maximum width, 10 ft.
 (3) Maximum depth, 4 ft.
 (4) Maximum 1 foot depth, 12 ft.
 (5) Minimum free board, 1/2 ft. of liquid depth.



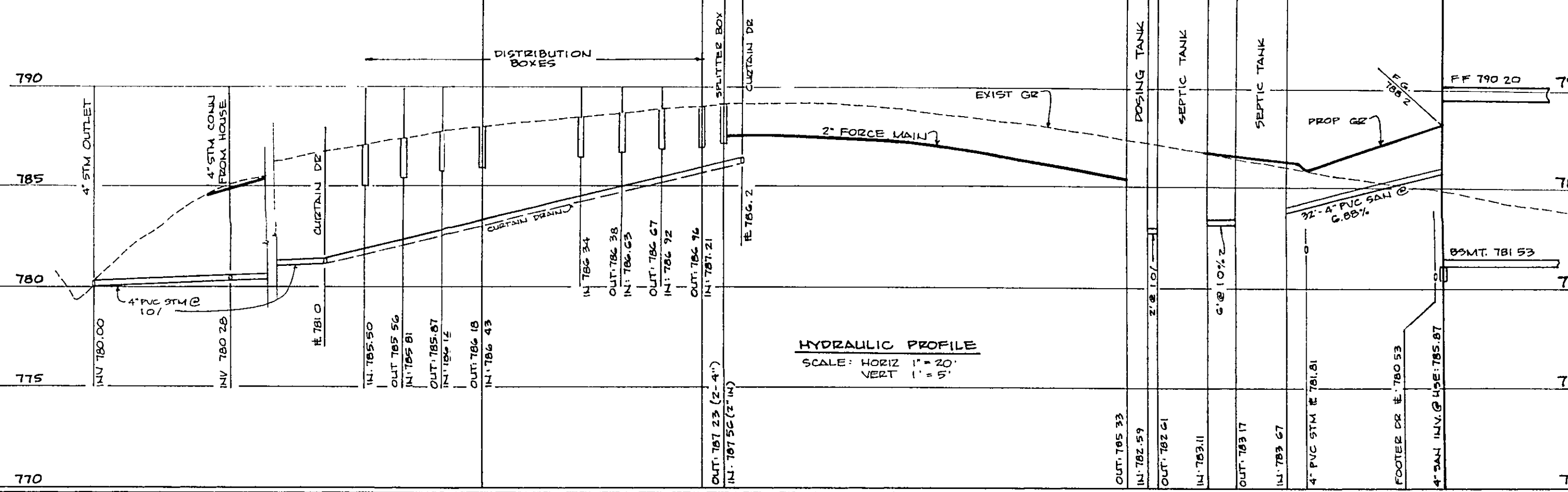
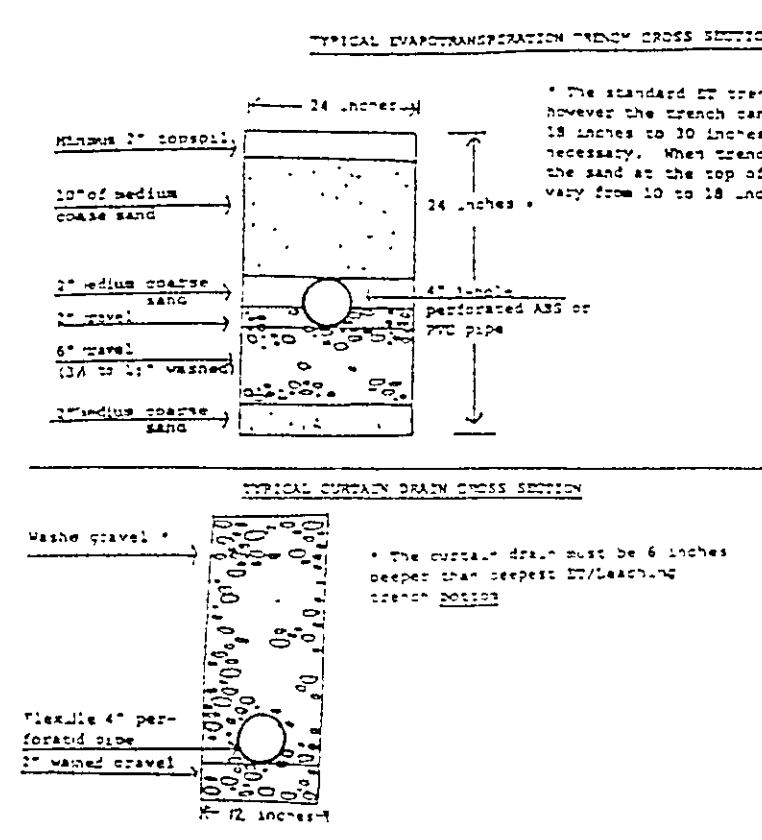
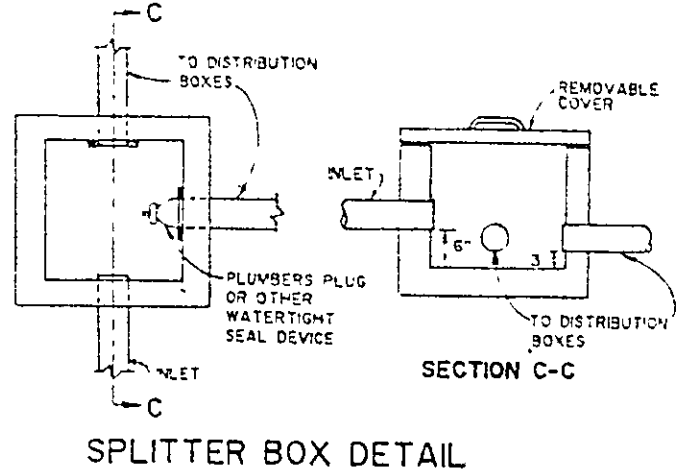
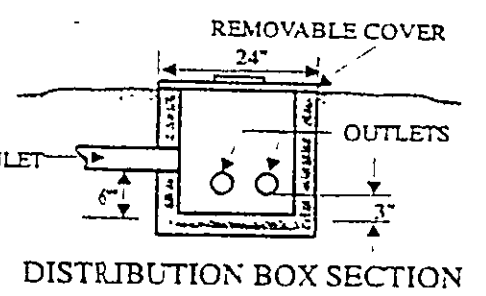
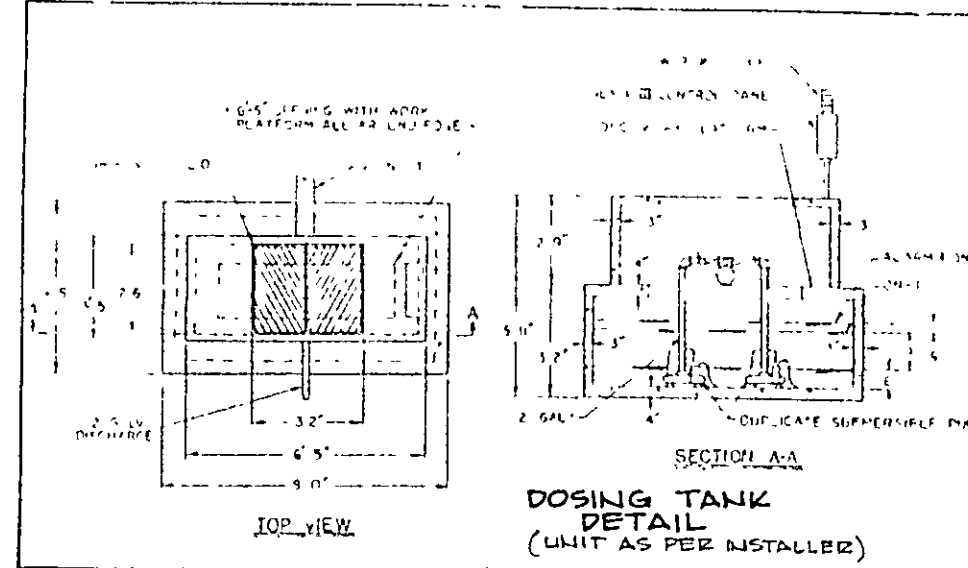
DWG. NAME
 WILSH-9701



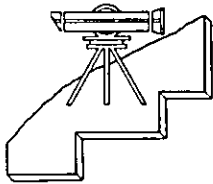
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-1	150.00'	83.78'	43.01'	82.69'	N 15°17'37" W	32°00'00"
C-2	200.00'	111.70'	57.35'	110.25'	N 15°17'37" W	32°00'00"



ZONING PERMIT #0597-8724
 ISSUED 5/8/97
 SUBJECT TO APPROVAL BY:
 Lake County Zoning Eng. ☐
 Lake County Bldg. Dept. ☒
 Lake County Planning Comm. ☒
 Lake County Bldg. Dept. ☒



COUNTY OF LAKE



THOMAS P. GILLES, P.E.
LAKE COUNTY ENGINEER

(440) 350-2770
FAX (440) 352-8133

PROJECT: PRUTY ROAD & Private Drive

PAGE 1 OF 1

DATE 15 June 99

DRAWN BY: GJH

CHECKED BY:

NOTES Field crew GJH T, B
JEB E

