

# Erosion and Sediment Control Schedule

**Ingress-Egress**  
A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

**Silt Fence**  
All silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

**Temporary Seeding**  
Disturbed areas of the site that are to remain idle for more than twenty-one (21) days shall be properly seeded and straw mulched within seven (7) days of completion of initial grading. Temporary seeding and mulching of a thirty (30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

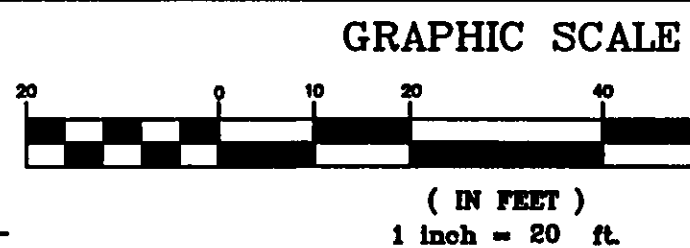
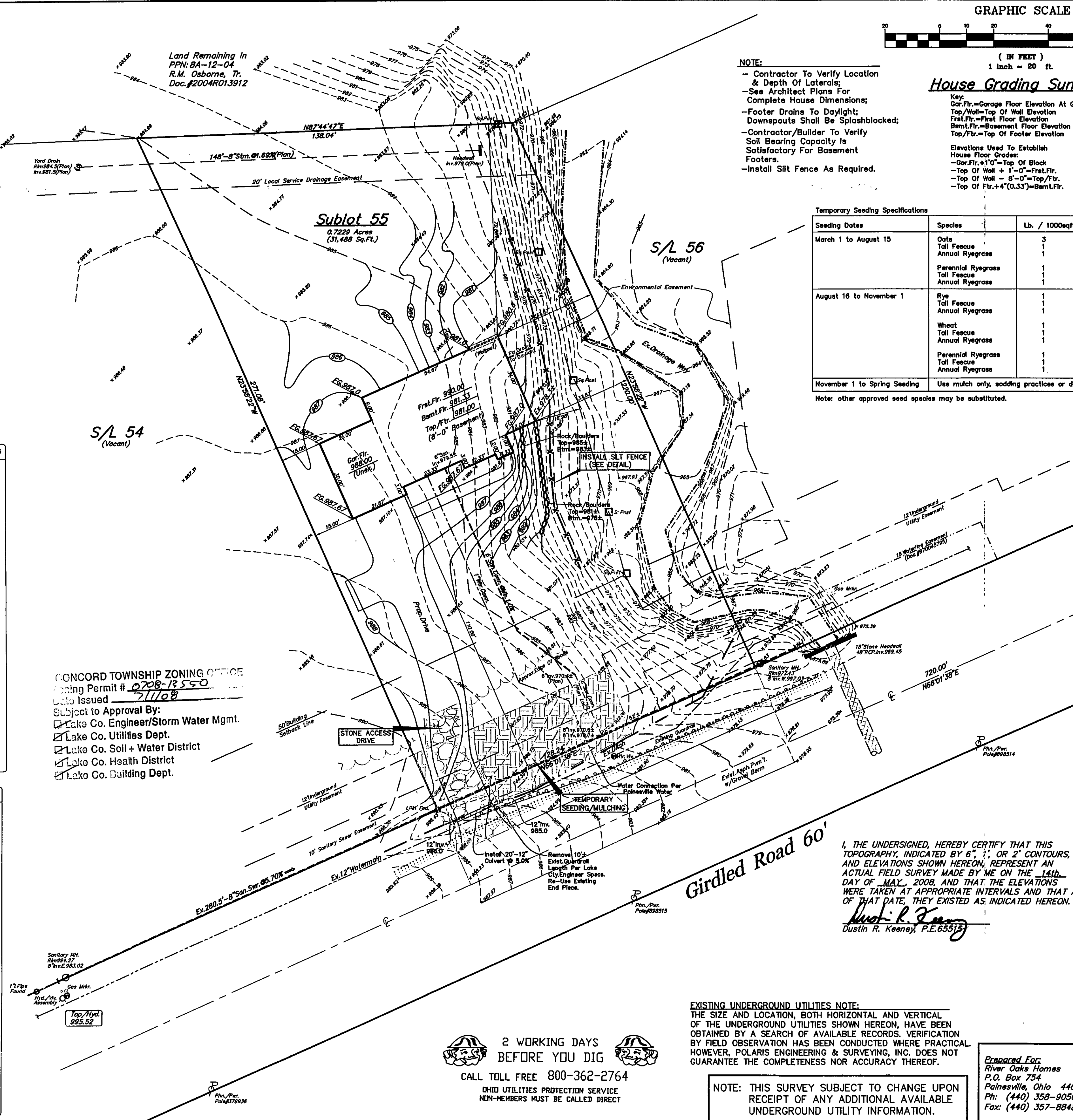
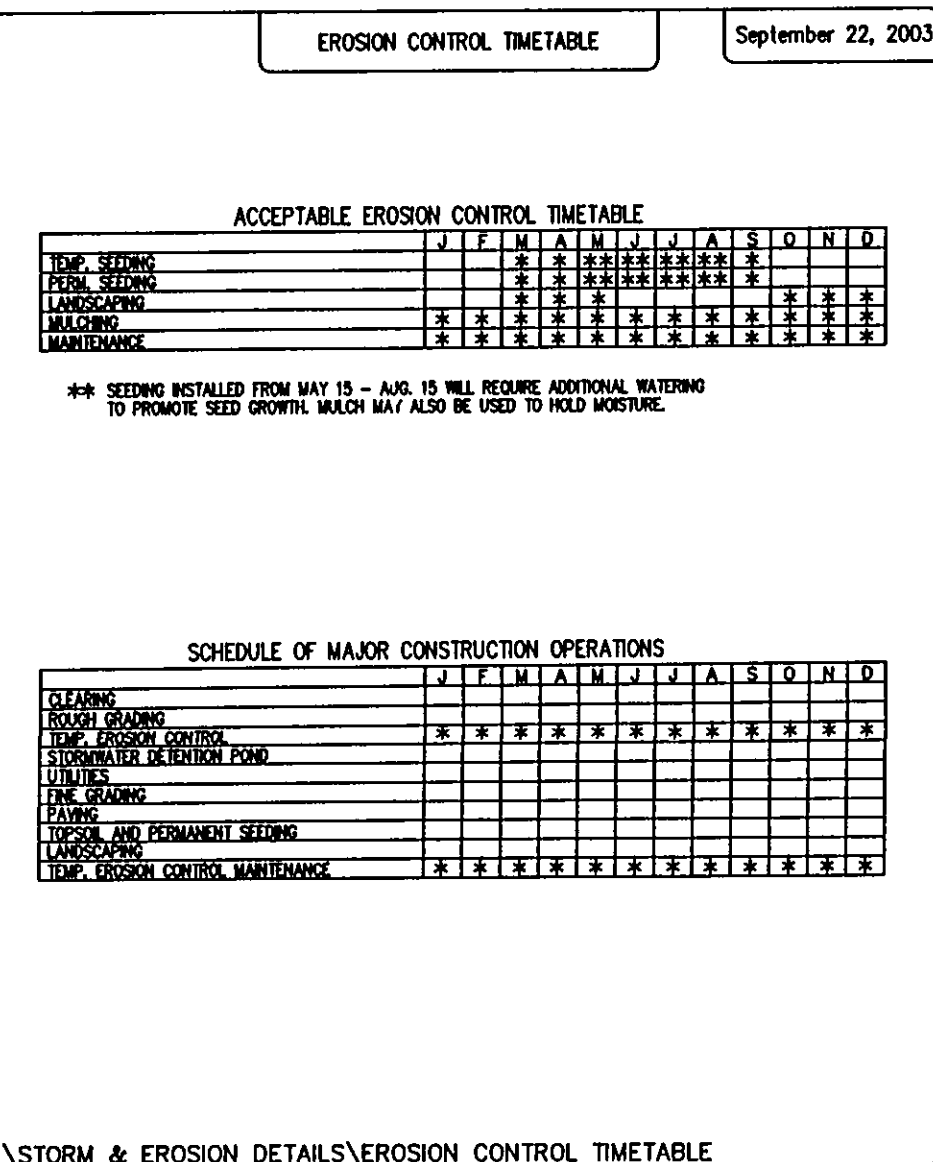
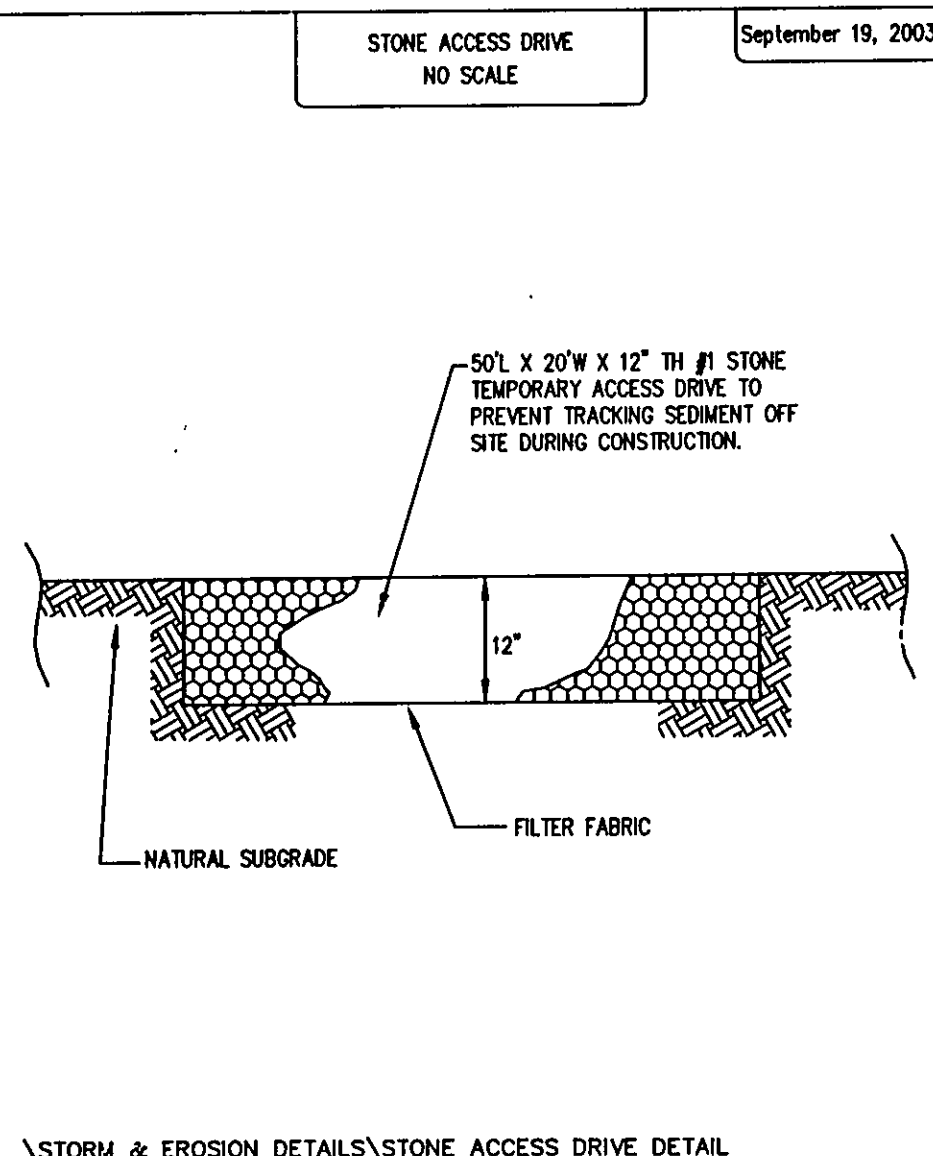
**Stabilization of critical areas** within fifty (50) feet of any stream or wetland shall be complete within two (2) days of the disturbance if the site is to remain inactive for longer than fourteen (14) days.

**Mulching**  
Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty (30) feet of the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

**Maintenance**  
Erosion and sediment controls shall be inspected every seven (7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

**Note:**  
All erosion and sediment control specifications, applications, and timetables are based on the descriptions and standards of The Ohio Department of Natural Resources "Rainwater and Land Development Manual" and can be found in the Lake County Erosion and Sediment Control Rules as adopted December 21, 1999.

The specified erosion and sediment control standards are the general guidelines and shall not limit the right of the county to impose, at any time, additional, more stringent requirements. Nor shall the standards limit the right of the county to waive, in writing, individual requirements.



- NOTE:**
- Contractor To Verify Location & Depth Of Laterals;
  - See Architect Plans For Complete House Dimensions;
  - Footer Drains To Daylight; Downspouts Shall Be Splashblocked;
  - Contractor/Builder To Verify Soil Bearing Capacity Is Satisfactory For Basement Footers.
  - Install Silt Fence As Required.

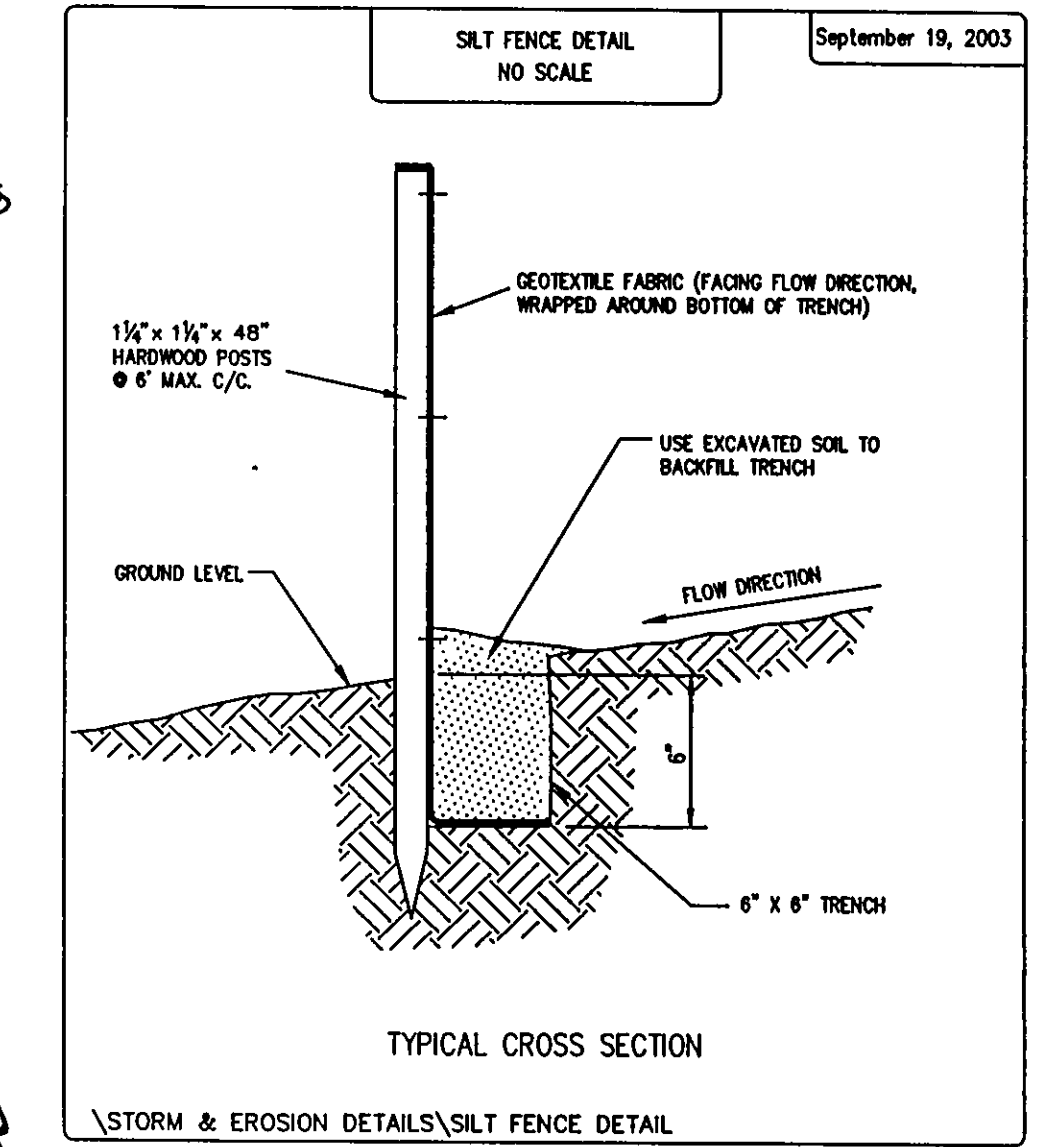
## House Grading Summary

**Key:**  
Cor.Fir.=Garage Floor Elevation At Garage Door  
Top/Wall=Top Of Wall Elevation  
Frat.Fir.=First Floor Elevation  
Bent.Fir.=Basement Floor Elevation  
Top/Ftr.=Top Of Footer Elevation

**Elevations Used To Establish House Floor Grades:**  
- Cor.Fir.+1'0"=Top Of Block  
- Top Of Wall + 1'-0"=Frat.Fir.  
- Top Of Wall - 8'-0"=Top/Ftr.  
- Top Of Ftr.+4'(0.33')=Bent.Fir.

Seeding Dates	Species	Lb. / 100sqft	Per Acre
March 1 to August 15	Oats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
August 16 to November 1	Rye	1	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
November 1 to Spring Seeding	Wheat	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
November 1 to Spring Seeding Use mulch only, sodding practices or dormant seeding			

Note: other approved seed species may be substituted.



ESTIMATED IMPERVIOUS AREA  
HOUSE: 0.06 Ac.  
DRIVE: 0.05 Ac.  
TOTAL: 0.11 Ac.

CONCORD TOWNSHIP ZONING OFFICE  
Zoning Permit # 0208-13550  
Date Issued 7/1/08  
Subject to Approval By:  
☒ Lake Co. Engineer/Storm Water Mgmt.  
☒ Lake Co. Utilities Dept.  
☒ Lake Co. Soil + Water District  
☒ Lake Co. Health District  
☒ Lake Co. Building Dept.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 6", 1", OR 2" CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 14th DAY OF MAY, 2008, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE, THEY EXISTED AS INDICATED HEREON.

*Dustin R. Keeney*  
Dustin R. Keeney, P.E. 65513

**EXISTING UNDERGROUND UTILITIES NOTE:**  
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

**2 WORKING DAYS BEFORE YOU DIG**  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE  
NON-MEMBERS MUST BE CALLED DIRECT

**NOTE:** THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

Prepared For:  
River Oaks Homes  
P.O. Box 754  
Painesville, Ohio 44077  
Ph: (440) 358-9050  
Fax: (440) 357-8848

POLARIS ENGINEERING & SURVEYING, INC.  
34600 CHARDON ROAD - SUITE D  
WILLOUGHBY HILLS, OHIO 44094  
(440) 944-4433 (440) 944-3722 (Fax)  
www.polaris-es.com

**DESIGN CERTIFICATION**

THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Dustin R. Keeney* 6-19-08  
NAME DATE

**BENCHMARK:**

I.M. = T.B.M Set On Top Of Hydrant  
Located As Noted  
Elevation

STATE SEAL

**"AS-BUILT" CERTIFICATION**

I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME DATE

**SUBLOT 55**  
Nature Preserve North  
(Volume 49, Page 26)  
Concord Twp., Lake County, Ohio

CONTRACT No.  
**08056**

DATE: 6/18/08  
SCALE: HOR. 1"=20'  
VERT. N/A  
FILENAME: Sublot55.dwg

Stormwater Management Plan  
Approved as shown and/or noted  
JAMES R. GILLIS, P.E.  
County Drainage Engineer  
By: *[Signature]* Date: 7/14/08  
Road permit required for grading, removal and re-installation.