

**CONCORD TOWNSHIP ZONING OFFICE**

Zoning Permit # 0214-15242

Date Issued 2/27/2014

Subject to Approval By:

☒ Lake Co. Engineer/Storm Water Mgmt.

☒ Lake Co. Utilities Dept.

☒ Lake Co. Soil + Water District

☒ Lake Co. Health District

☒ Lake Co. Building Dept.

**CURVE TABLE**

Curve	Length	Radius	Chord	Bearing	Delta
C1	38.91'	30.00'	36.24'	S53°34'05"E	74°18'36"
C2	131.48'	500.00'	131.10'	N81°44'37"E	15°04'00"
C3	54.49'	560.00'	54.46'	N86°29'22"E	5°34'29"

EXIST. ELEV. 100.0  
100.0 PROP. ELEV.

AS BUILT ELEVATION

INDICATES  
DIRECTION OF  
SURFACE DRAINAGE

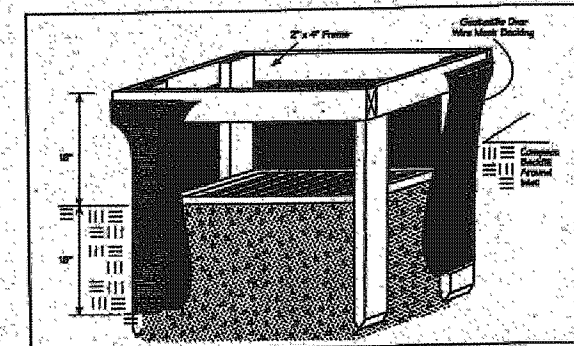


2 WORKING DAYS  
BEFORE YOU DIG

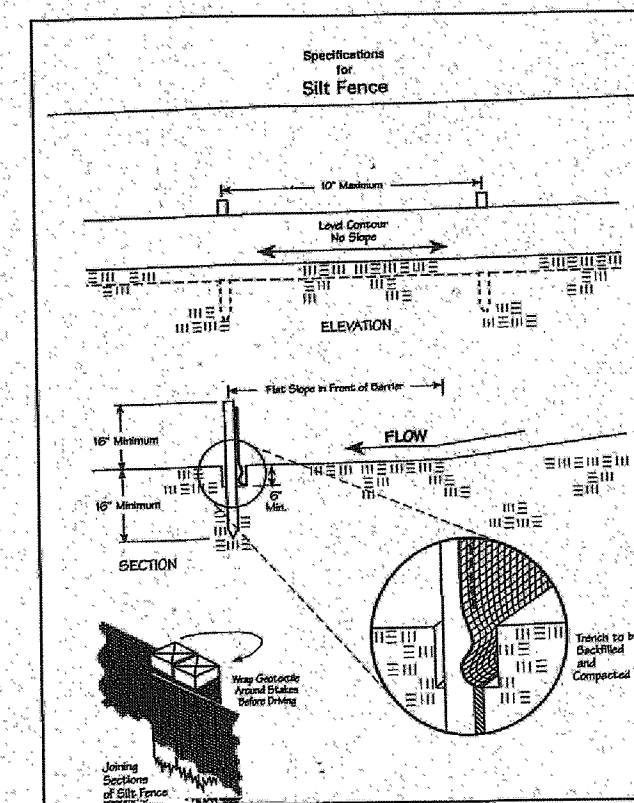
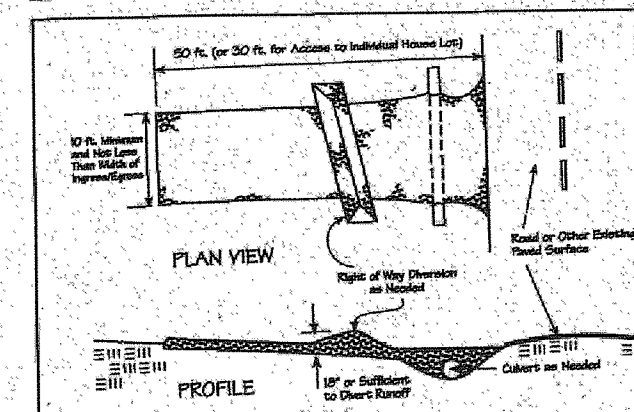
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE

"This plan has been prepared solely for the purpose of establishing grading, drainage, location of utility connections, and compliance with local zoning regulations and is based upon plans approved by agencies having jurisdiction. Jones Surveying, LLC does not warrant or guarantee structural components of the structure or the underlying soils."

BENCHMARK:



Temporary Seeding Species Selection			
Seeding Dates	Species	Lb./1,000 ft. <sup>2</sup>	Per A.C.
March 1 to August 15	Cats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
August 18 to November 1	Rye	3	2 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
November 1 to Spring Seeding	Use mulch only, sodding practices or dormant seeding.		



**SITE PLAN**

CONCORD TWP., LAKE County, Ohio

GREEN SHAMROCK

for:

CLIENT

OWNER

ADDRESS

STREET

CITY

ZIP

CONCORD RIDGE

SUBDIVISION 62.18-1

NAME

TRACT

STREET

73

CROSSROADS DRIVE

LOT

PERM. PARCEL NO.

SUBLOT NO.

STREET

VOL.-PG.

PERM. PARCEL NO.

**DESIGN CERTIFICATION**

THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

HARRY S. JONES, JR.

#16343

SURVEYOR REGISTRATION NO. 6343

**Erosion and Sediment Control Schedule**

**Ingress-Egress**

A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

**Silt Fence**

A silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

**Temporary Seeding**

Disturbed areas of the site that are to remain idle for more than fourteen(14) days shall be properly seeded and straw mulched within seven(7) days of completion of initial grading.

Temporary seeding and mulching as a thirty(30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

Stabilization of critical areas within fifty(50) feet of any stream or wetland shall be complete within two(2) days of the disturbance if the site is to remain inactive for longer than fourteen(14) days.

**Mulching**

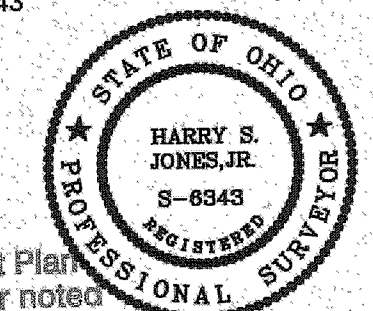
Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty(30) feet to the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

**Maintenance**

Erosion and sediment controls shall be inspected every seven(7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

I, the undersigned, hereby certify that this topography, indicated by 1' contours, and elevations shown hereon, represent an actual field survey made by me on the 24 day of February, 2014 and that the elevations were taken at appropriate intervals and that as of that date they existed as indicated hereon.

HARRY S. JONES, JR. #16343  
P.S. #6343



Stormwater Management Plan  
Approved as shown and/or noted  
JAMES R. GILLS, P.E.  
County Drainage Engineer

By L.S. Date 3/3/14

**EXISTING UNDERGROUND UTILITIES NOTE:**

"The size and location, both horizontal and vertical, of the underground utilities shown hereon, have been obtained by a diligent and comprehensive search of available records. Verification by field observation has been conducted where practical. However, Jones Surveying, LLC does not guarantee the completeness nor accuracy thereof."

REVISIONS			Jones Surveying, LLC		
NO.	DATE	BY	ENGINEERS - SURVEYORS - PLANNERS		
1			1924 MENTOR AVE., PAINESVILLE, OHIO 440-357-1811		
2			440-357-9173 (FAX) hjonessurveying@yahoo.com		
3			DRAWN BY GMB	SCALE 1"=30'	PHONE NO. 440-357-1811
4			CHKD. HSJ	DATE 2/26/14	DRAWING NO. 14-012-73
5			CREW CHIEF APPD		