CONCORD TOWNSHIP ZONING CFFICE Caing Permit # SPR-006-13806 House_Summary BIO-RETENTION SWALE WITH SUN JOCAL TO Approval By: TO BE EXCAVATED AND BACKFILLED WITH APPROVED SOIL MIXTURE CONTRACTOR CO. Engineer/Storm Water Mgmt. GAR.FLR = GARAGE FLOOR ELEVATION AT GARAGE DOOR polaris TOP/WALL=TOP OF WALL ELEVATION O.L.32 FRST.FLR.=FIRST FLOOR ELEVATION BSMT FLR.=BASEMENT FLOOR ELEVATION Lake Co. Utilities Dept S87'25'54"E TOP/FTR.=TOP OF FOOTER ELEVATION O.L.26 ☐ Lake Co. Soil + Water District 227.96 ELEVATIONS USED TO ESTABLISH HOUSE FLOOR GRADES: BUILDING SETBACKS: -FRONT YARD=56.84' POLARIS ENGINEERING & SURVEYING, INC. Lake Co. Health District -RFAR YARD=36.00 -GAR.FLR. + 10'=TOP OF WALL -TOP OF WALL + 1.0'=FRST.FLR. -FROM S.R. 84 R/W-805.45'(SIDE) 34600 CHARDON ROAD SUITE D WILLOUGHBY HILLS, OH 44094 Jake Co. Building Dept -TOP OF WALL -9.0 = TOP/FTR. -FROM WEST PL=216.76'(SIDE) -TOP OF FTR.+4"(0.33")=BSMT.FLR. (440) 944-4433 (440) 944-3722 (Fax) I. CONTRACTOR TO VERIFY LOCATION & DEPTH OF LATERALS: www.polaris-es.com . MINIMUM BUILDING SEPARATION SHALL BE 10'. ALL UNITS SHOWN ARE TO BE O'Building Setback -STORY RANCH W/BASEMENT. DATE: 02/25/09 SCALE: HOR. 1"=20" WATER CONNECTIONS SHALL BE AS PER AQUA OHIO REQUIREMENTS AND STANDARDS, EACH 1" SERVICE CONNECTION SHALL BE INSTALLED DURING TIME OF VERT_none_ IDIVIDUAL UNIT CONSTRUCTION. FILENAME: Unit 17 Site Plan 4. ALL BUILDING DOWNSPOUTS AND STORM CONNECTION SUMP PUMPS SHALL OUTLET TO SPLASH BLOCKS AND BE DIRECTED TO THE REAR OF THE UNITS AND THE INFILTRATION TRENCH. Unit 17 Unit 16 Unit 18 Frst.Flr. 755.00 5. SEE IMPROVEMENT PLANS FOR THE PRESCOTT MILL CONDOMINIUMS, PHASE 1, FOR ADDITIONAL EROSION CONTROL AND GRADING ITEMS. Top /Wall 754:00 Bsmt.Flr. 745.33 6. ANY PROPOSED DECKS SHALL COMPLY WITH THE BUILDING SETBACK REQUIREMENTS SET FORTH IN SECTION 17 0B Top /F.tr. 7.45.00 CONDOMINIUMS (9.0° Poured Wall) 7. TYPICAL DRIVEWAY LENGTHS (FRONT SETBACK) SHALL BE 26'±, TYPICAL DRIVEWAY WIDTH IS 18'. DRIVEWAYS ARE SIZED TO HANDLE TWO CARS. . F.G. = ELEVATION OF GARAGE FLOOR AT FRONT OF GARAGE. 000.00 = SPOT ELEVATIONS EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND
UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE
RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE Gar.Fir._753.00 (Unex.) PRACTICAL HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF. · U.G.Eled /Phn.Aines U.Q.Elec/Phn.Lin MH. **ROUGH GRADE THE PROPOSED** PROPOSED SWALE AT THE REAR OF THE RIVEWAY 0 8.92% 343'-8' SAN SEW 0 0.75% **BUILDING PRIOR TO FOOTER OR** *-751-*BASEMENT EXCAVATION. Ex12"Stm.Sur. I.P. ESCO. -26°L X 18°W X 12° TH ODOT #2 STONE TEMPORARY ACCESS DRIVE TO Storm MH. I .P. Setback 30 Building Setback A -NATURAL SUBGRADE 56.84 PREVENT TRACKING SEDIMENT OFF COUNTRY SCENE LANE 94 0012 VCPPInv. 746.02 SITE DURING CONSTRUCTION 12"VP.Inv.745.94 4 Exist.Conc.Pvm't. 坖 w/Conc.Curb/Gutter \triangle Curb Inlet 12 VCP1Inv. 746013 OWNER: - FILTER FABRIC STONE CONSTRUCTION ENTRANCE GABRIELS EDGE, LLC TYPICAL CROSS SECTION P.O. BOX 946 Hyd Wv. Assembly CHARDON, OHIO 44024 Sìgn GEOTEXTILE FABRIC (FACING FLOW DIRECTION, -WRAPPED AROUND BOTTOM OF TRENCH) PHONE: (440) 669-5040 1 1/4" x 1 1/4" x 48", THE TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON REPRESENT AN ACTUAL FIELD SURVEY MADE BY DANIEL LAUX, P.S. NO. 7087 ON MAY 28TH, 2008. THE ELEVATIONS HARDWOOD POSTS USE EXCAVATED SOIL TO **BENCHMARK:** TE OF TE OF OX 0 6' MAX. C/C. BACKFILL TRENCH WERE TAKEN AT APPROPRIATE INTERVALS AND AS OF THE ABOVE DATE THEY EXISTED AS INDICATED HEREON. CONTACT: B M. = T.B.M SET On _ TOP OF HYDRANT Located CL STA. 8+44± 19°L Elevation 755.93 GROUND LEVEL-DUSTIN DANIEL Stormwater Management Plan 02/25/09 LAUX DANIEL LAUX, P.S. NO. 7087 DATE Approved as shown and/or noted * KEENEY CONTRACT No. S-7087 DESIGN CERTIFICATION E-65515 JAMES R. GILLS, P.E. THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST 07196 **County Drainage Engineer** CISTER OF MY KNOWLEDGE AND BELIEF. Date 4-2-09 SHEET SILT FENCE 02/25/09 TYPICAL CROSS SECTION