

Abbreviated Site Plan - Erosion and Sediment Control Notes
(Individual Homesites) (5-13-05)

Ingress-Egress

A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

Silt Fence

All silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

Temporary Seeding

Disturbed areas of the site that are to remain idle for more than Twenty-one (21) days shall be properly seeded and straw mulched within seven (7) days of completion of initial grading. Temporary seeding and mulching of a thirty (30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

Stabilization of critical areas within fifty (50) feet of any stream or wetland shall be complete within two (2) days of the disturbance if the site is to remain inactive for longer than fourteen (14) days.

Mulching

Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty (30) feet of the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

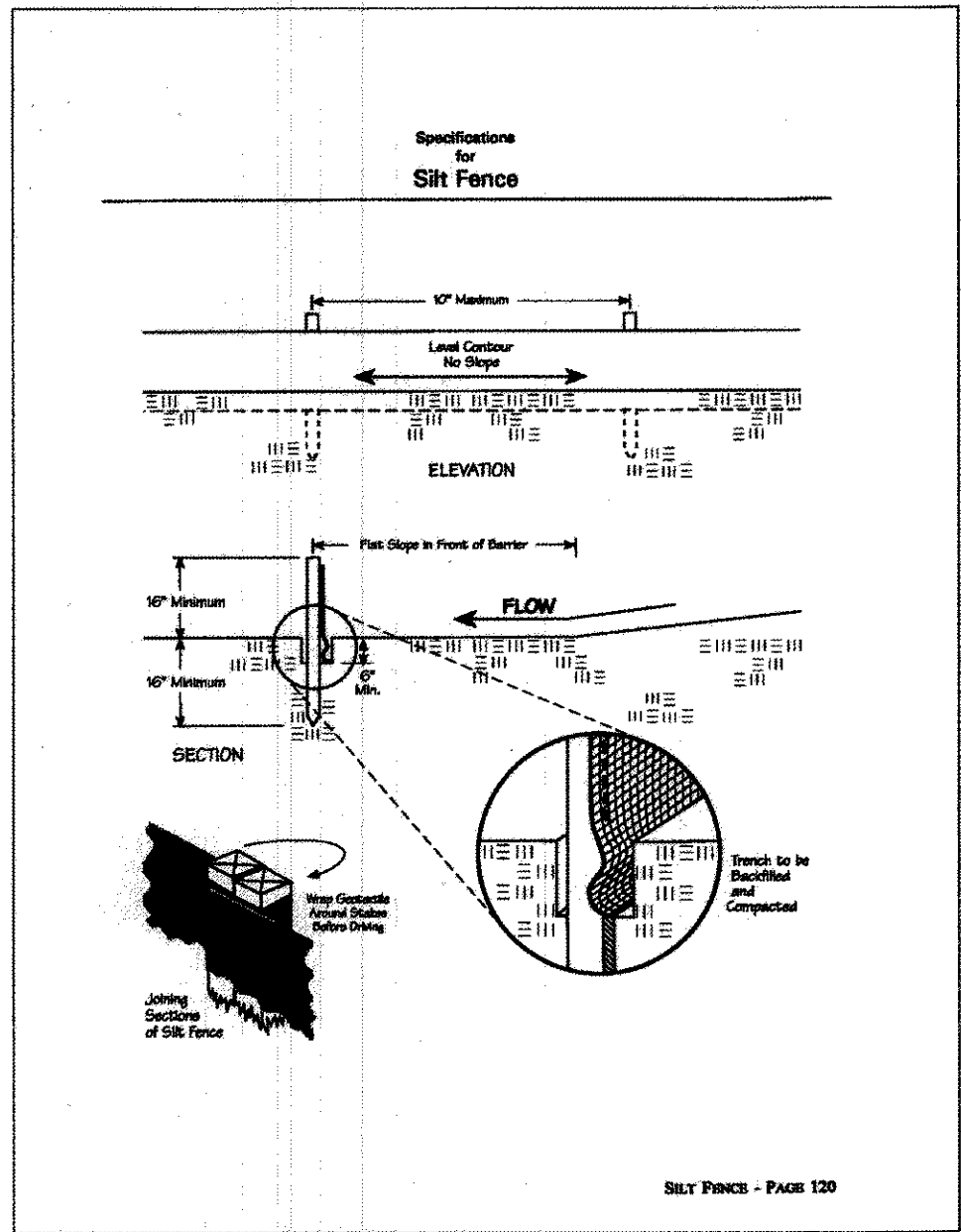
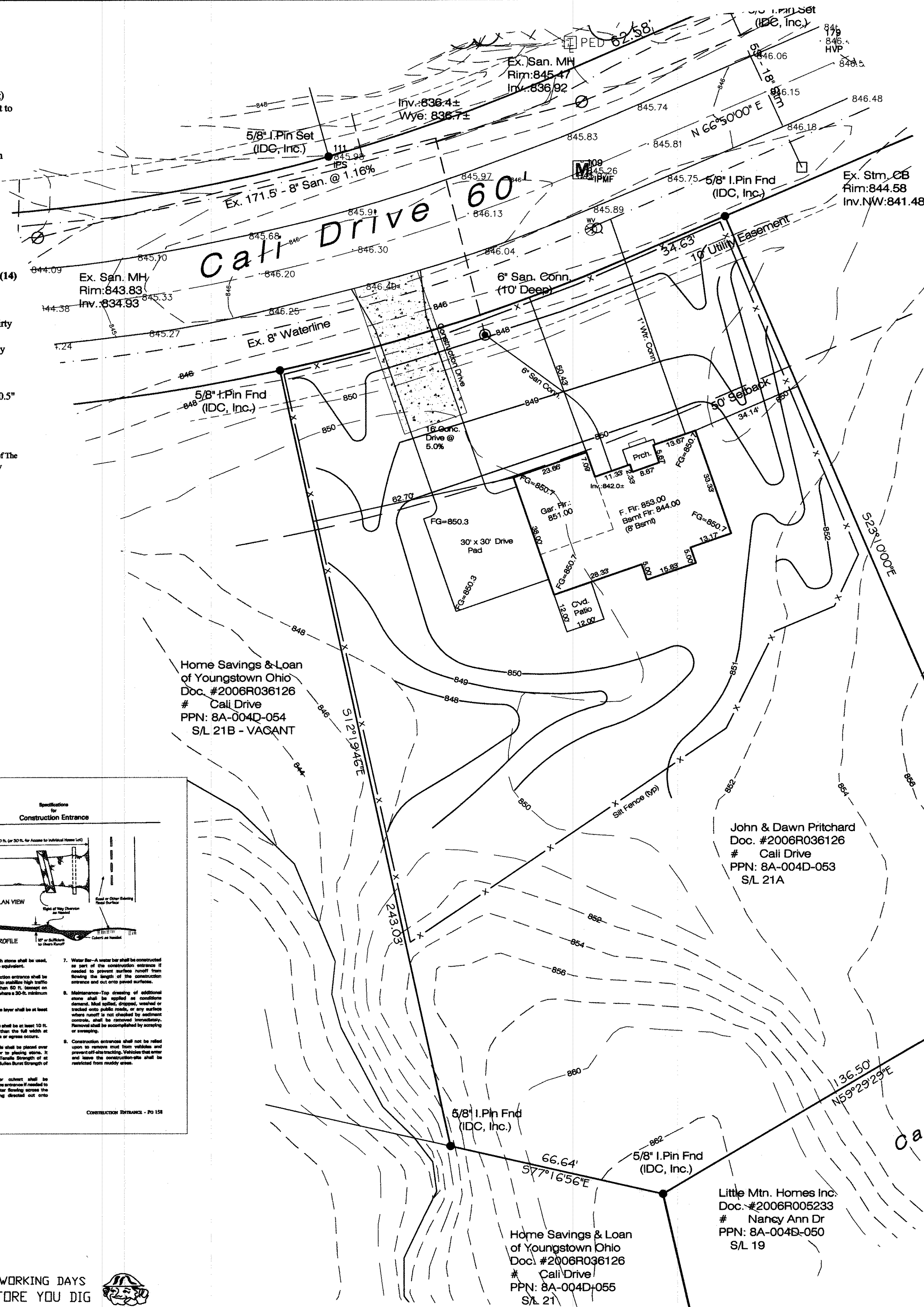
Maintenance

Erosion and sediment controls shall be inspected every seven (7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

Note:

All erosion and sediment control specifications, applications, and timetables are based of the descriptions and standards of The Ohio Department of Natural Resources "Rainwater and Land Development Manual" and can be found in the Lake County Erosion and Sediment Control Rules as adopted December 21, 1999.

The specified erosion and sediment control standards are general guidelines and shall not limit the right of the county to impose, at any time, additional, more stringent requirements. Nor shall the standards limit the right of the county to



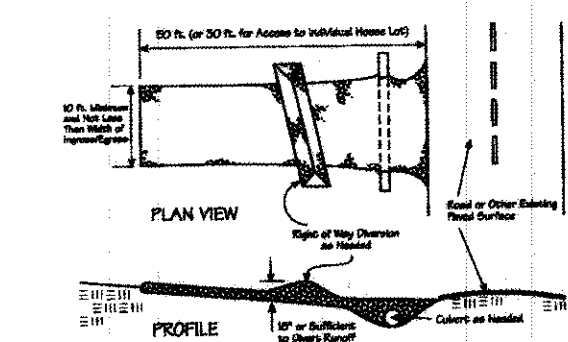
Specifications
Temporary Seeding

Seeding Date	Species	Lb./1,000 ft. ²	Per A.C.
March 1 to August 15	Grass	2	4 bushel
	Grass	1	40 lb.
	Grass	1	40 lb.
	Grass	1	40 lb.
	Grass	1	40 lb.
August 16 to November 1	Grass	2	4 bushel
	Grass	1	40 lb.
	Grass	1	40 lb.
	Grass	1	40 lb.
	Grass	1	40 lb.
November 1 to Spring Seeding	Grass	2	4 bushel
	Grass	1	40 lb.
	Grass	1	40 lb.
	Grass	1	40 lb.
	Grass	1	40 lb.

1. Structural erosion and sediment control measures shall be installed and maintained until the erosion and sediment control measures are no longer needed. These measures shall be installed and maintained until the erosion and sediment control measures are no longer needed.
2. Temporary seeding shall be applied between construction operations on and that will not be graded or paved for 45 days or more. These areas shall be seeded as soon as possible after grading or shall be seeded before the final grading. If the seeding is not done before the final grading, the seeding shall be done immediately after the final grading.
3. The seedbed shall be prepared and loose to ensure the success of establishing vegetation. However, temporary seeding shall not be performed if local seedbed preparation is not possible.
4. Soil Amendments-Applications of temporary vegetation shall establish adequate erosion of vegetation which may require the use of soil amendments. Soil amendments shall be applied to the site to provide the seedbed for the seed and fertilizer.
5. Seeding Method-Seed shall be applied uniformly with a cyclone seeder, etc. These areas shall be seeded as soon as possible after grading or shall be seeded before the final grading. If the seeding is not done before the final grading, the seeding shall be done immediately after the final grading.

TEMPORARY SEEDING - PAGE 124

Specifications
Construction Entrance



1. Stone Size-Two-inch stones shall be used, or recycled concrete equivalent.
2. Length-The construction entrance shall be as long as required to stabilize high traffic areas but not less than 50 ft. based on single residential lot where a 30-ft. minimum length is required.
3. Thickness-The stone layer shall be at least 6 in. thick.
4. Width-The entrance shall be at least 10 ft. wide, but not less than the full width of the entrance where ingress or egress occurs.
5. Sealing-The entrance shall be sealed with a material that will prevent the entrance from being used for ingress or egress.
6. Culvert-A pipe or culvert shall be installed under the entrance if needed to prevent surface water flowing across the entrance from being diverted into the entrance.
7. Water Bar-A water bar shall be constructed at the end of the construction entrance if needed to prevent surface runoff from entering the entrance. The water bar shall be constructed at the end of the construction entrance and not over paved surfaces.
8. Maintenance-Top dressing of additional stone shall be applied as conditions demand. Material applied, dropped, washed or eroded away shall be replaced, or any surface where runoff is not checked by sediment control, shall be replaced immediately. Removal shall be accomplished by sweeping or vacuuming.
9. Construction entrance shall not be used for ingress or egress until the entrance is sealed with a material that will prevent the entrance from being used for ingress or egress.

CONSTRUCTION ENTRANCE - PAGE 125

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 6", 1" OR 2" CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE DAY OF JULY, 2012 AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON.

James R. Pegoraro, Jr. P.S. 8150

NOTE: THE CONTRACTOR/BUILDER SHALL NOTIFY THE APPROVING ENGINEER IF GROUNDWATER IS OBSERVED DURING THE EXCAVATION OF THE BASEMENT.

-Contractor To Verify Depth And Location Of Utility Connections;-See Architect Plans For Complete House Dimensions.

EXISTING UNDERGROUND UTILITIES NOTE: THE SIZE & LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, LDC INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

2 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

Michael & Julieann
Passarelli
Doc. #2006R036127
11900 Cali Drive
PPN: 8A-004D-043
S/L 20

John & Dawn Pritchard
Doc. #2006R036126
Cali Drive
PPN: 8A-004D-053
S/L 21A

Home Savings & Loan
of Youngstown Ohio
Doc. #2006R036126
Cali Drive
PPN: 8A-004D-055
S/L 21

Little Mtn. Homes Inc.
Doc. #2006R005233
Nancy Ann Dr
PPN: 8A-004B-050
S/L 19

SITE PLAN

For : Chadwick Homes
CLIENT

Chadwick Homes
ADDRESS STREET CITY

21A Cali Woods No.2
SUBLOT No. SUBDIVISION NAME VOL PAGE

8 1 Concord
LOT TRACT GFF/TOWNSHIP OHIO

Prepared By:
LAND DESIGN consultants
Civil Engineers and Surveyors
8585 EAST AVENUE, MENTOR, OHIO 44060
TELEPHONE 255-8483 354-8938 951-LAND

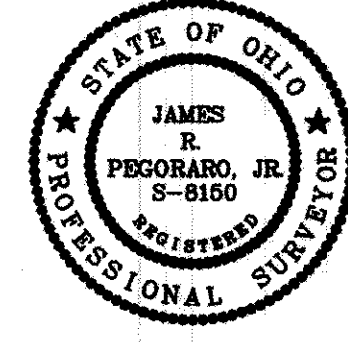
DESIGN CERTIFICATION

THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

James R. Pegoraro, Jr.
NAME

CHECK LIST

LOT DIMENSIONS & BEARINGS
TO NEAREST STREET
SUBLOT No. (PARCEL No.)
SURROUNDING OWNERS
BUILDING DIMENSIONS
SETBACK, SETBACK, REAR YARD
FINISHED GRADES
DRAIN & ASPEN TYPE, WIDTH, THICKNESS
SEWER TYPE, WIDTH, THICKNESS
WATER MAIN SIZE, LOCATION
SAN. SEWER SIZE, & GRADE, LOC.
SAN. MH. CAST. ELEV., INV. ELEV.
STORM SEWER SIZE, & GRADE, LOC.
STORM MH. CAST. ELEV., INV. ELEV.
PAV'T TYPE, GRADE, CURBS
GAS LINE SIZE, GRADE
SEPTIC SYSTEM & DUPLICATION
WELL LOCATION & ISOLATION RADIUS



"AS BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME

LEGEND	DRAWN BY	SCALE
STORM MANHOLE SANITARY MANHOLE EXISTING CONTOURS PROPOSED CONTOURS	JRP	1"=20'
EXIST. ELEV. 100.0 F.G. 100.0 = PROP. ELEV.	CHKD BY/FIELD	DATE
	1	7/12
	2	

ACCEPTED: CLIENT DATE

BENCHMARK:

Topo shown hereon was taken from flown county topo
No field topography done yet

House drains to be sumped and outlet
onto splashblocks

CONCORD TOWNSHIP ZONING OFFICE
Zoning Permit # 0712-14800
Date Issued 7/12/12
Subject to Approval By:
☒ Lake Co. Engineer/Storm Water Mgmt.
☒ Lake Co. Utilities Dept.
☒ Lake Co. Soil + Water District
☒ Lake Co. Health District
☒ Lake Co. Building Dept.



DWG. NAME
PENG1-1203