

# Erosion and Sediment Control Schedule

**Ingress-Egress**  
A stone access drive complete with under lying geo-textile fabric (20 feet wide and 50 feet long) for ingress and egress at the site shall be installed. This drive shall be the only entrance and exit to the site.

**Silt Fence**  
All silt fence shall be installed prior to any earthwork activities at the site in the locations shown on the site plan as well as along the front of any lot that slopes towards the street.

**Temporary Seeding**  
Disturbed areas of the site that are to remain idle for more than twenty-one (21) days shall be properly seeded and straw mulched within seven (7) days of completion of initial grading.  
Temporary seeding and mulching of a thirty (30) foot strip of the entire front of the lot shall be maintained on the site once initial grading is complete.

**Stabilization of critical areas** within fifty (50) feet of any stream or wetland shall be complete within two (2) days of the disturbance if the site is to remain inactive for longer than fourteen (14) days.

**Mulching**  
Straw-mulch shall be applied at a rate of 1 bale per every ten (10) feet of curb, at a width of thirty (30) feet of the entire length of the lot. Wood chips may also be used but must be spread at a minimum depth of four inches over the thirty-foot width and must be accompanied by a properly installed silt fence.

**Maintenance**  
Erosion and sediment controls shall be inspected every seven (7) days or within 24 hours of a 0.5" or greater rainfall event. Necessary repairs shall be made at this time.

**Note:**  
All erosion and sediment control specifications, applications, and timetables are based on the descriptions and standards of the Ohio Department of Natural Resources "Rainwater and Land Development Manual" and can be found in the Lake County Erosion and Sediment Control Rules as adopted December 21, 1999.

The specified erosion and sediment control standards are the general guidelines and shall not limit the right of the county to impose, at any time, additional, more stringent requirements. Nor shall the standards limit the right of the county to waive, in writing, individual requirements.

## Temporary Seeding Specifications

Seeding Dates	Species	Lb. / 1000sqft	Per Acre
March 1 to August 15	Oats	3	4 bushel
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
August 16 to November 1	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Wheat	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
	Perennial Ryegrass	1	40 lb.
	Tall Fescue	1	40 lb.
	Annual Ryegrass	1	40 lb.
November 1 to Spring Seeding	Use mulch only, sodding practices or dormant seeding		

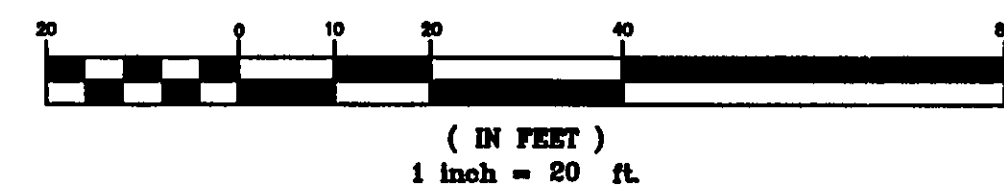
Note: other approved seed species may be substituted.

## NOTE:

- Contractor To Verify Location & Depth Of Laterals;
- See Architect Plans For Complete House Dimensions;
- Footer Drains and Downspouts To Connect To Ex.Stm.Conn. (Per Plan) In Storm Inlet.
- Contractor/Builder To Verify Soil Bearing Capacity Is Satisfactory For Basement Footers.
- Install Silt Fence As Required.

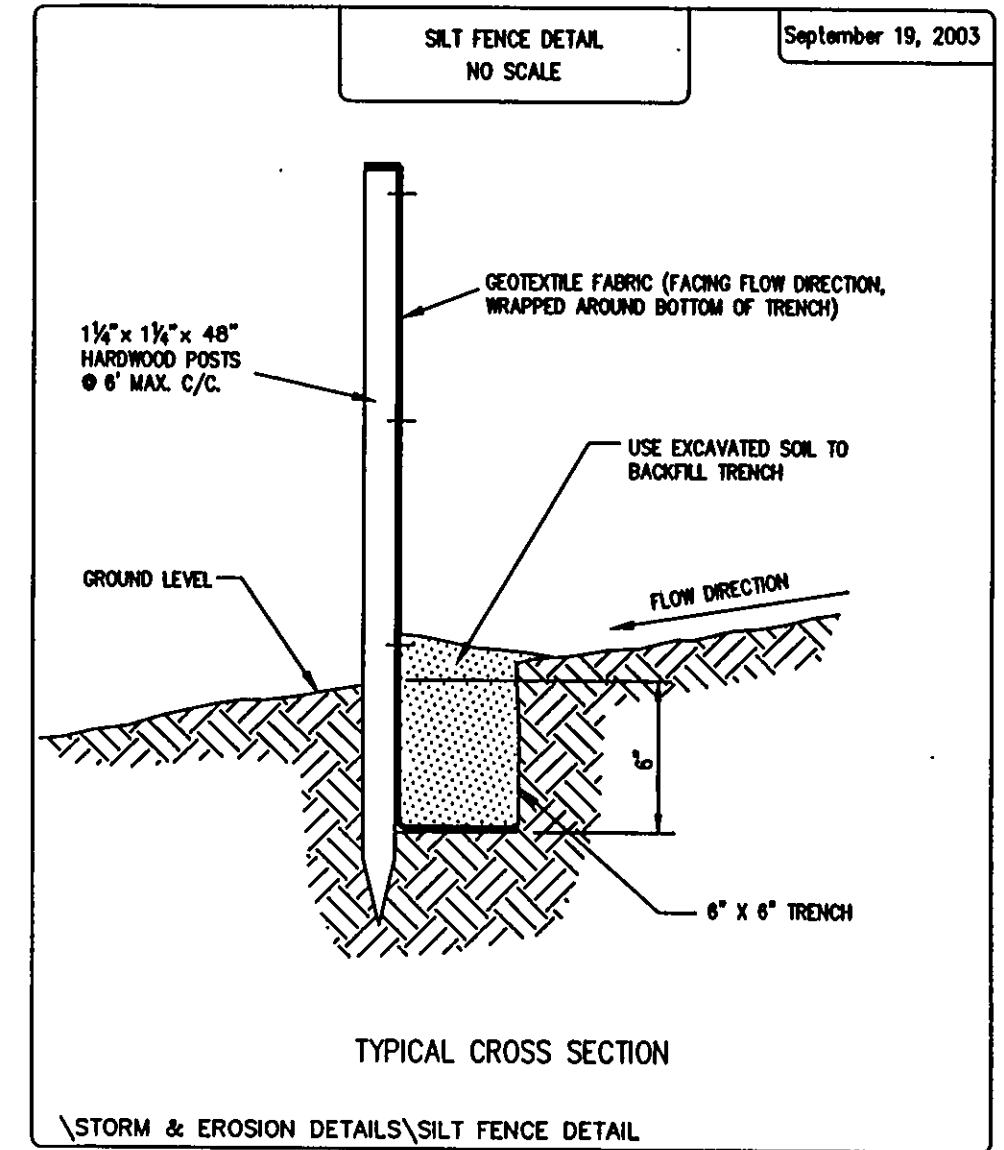
CONCORD TOWNSHIP ZONING OFFICE  
Zoning Permit # 0208-13570  
Date Issued 7/15/08  
Subject to Approval By:  
Lake Co. Engineer/Storm Water Mgmt.  
Lake Co. Utilities Dept.  
Lake Co. Soil + Water District  
Lake Co. Health District  
Lake Co. Building Dept.

## GRAPHIC SCALE



## House Grading Summary

Key:  
Gar.Flr.=Garage Floor Elevation At Garage Door  
Top/Wall=Top Of Wall Elevation  
Frat.Flr.=First Floor Elevation  
Bam.Flr.=Basement Floor Elevation  
Top/Ftr.=Top Of Footer Elevation  
Elevations Used To Establish House Floor Grades:  
-Gar.Flr.+1'-0"=Top Of Block  
-Top Of Wall + 1'-0"=Frat.Flr.  
-Top Of Wall - 8'-0"=Top/Ftr.  
-Top Of Ftr.+4'(0.33')=Bam.Flr.

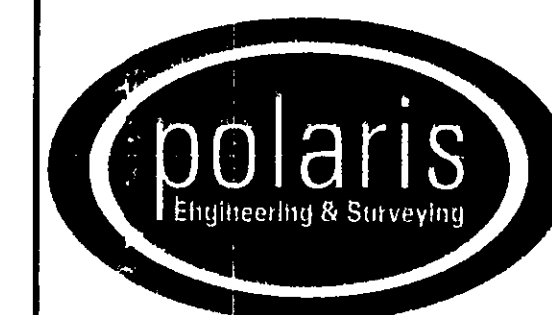


ESTIMATED IMPERVIOUS AREA  
HOUSE: 0.07 Ac.  
DRIVE: 0.04 Ac.  
TOTAL: 0.11 Ac.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 6" 1" OR 2" CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 28th DAY OF MAY, 2008, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE, THEY EXISTED AS INDICATED HEREON.

Dustin R. Keeney  
Dustin R. Keeney, P.E. 65518

Revised Hse. Location 7-14-08 G.S.V.  
Site & Grade Hse. 6-20-08 G.S.V.



POLARIS ENGINEERING & SURVEYING, INC.  
34600 CHARDON ROAD - SUITE D  
WILLOUGHBY HILLS, OHIO 44094  
(440) 944-4433 (440) 944-3722 (Fax)  
www.polaris-es.com

## DESIGN CERTIFICATION

THIS PLAN WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME Dustin R. Keeney DATE 7-14-08

## BENCHMARK:

B.M. = T.B.M. Set On Top Of Hydrant  
Located As Noted  
Elevation 967.09



## "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

**SUBLOT 46**  
**Nature Preserve North**  
(Volume 49, Page 26)  
Concord Twp., Lake County, Ohio

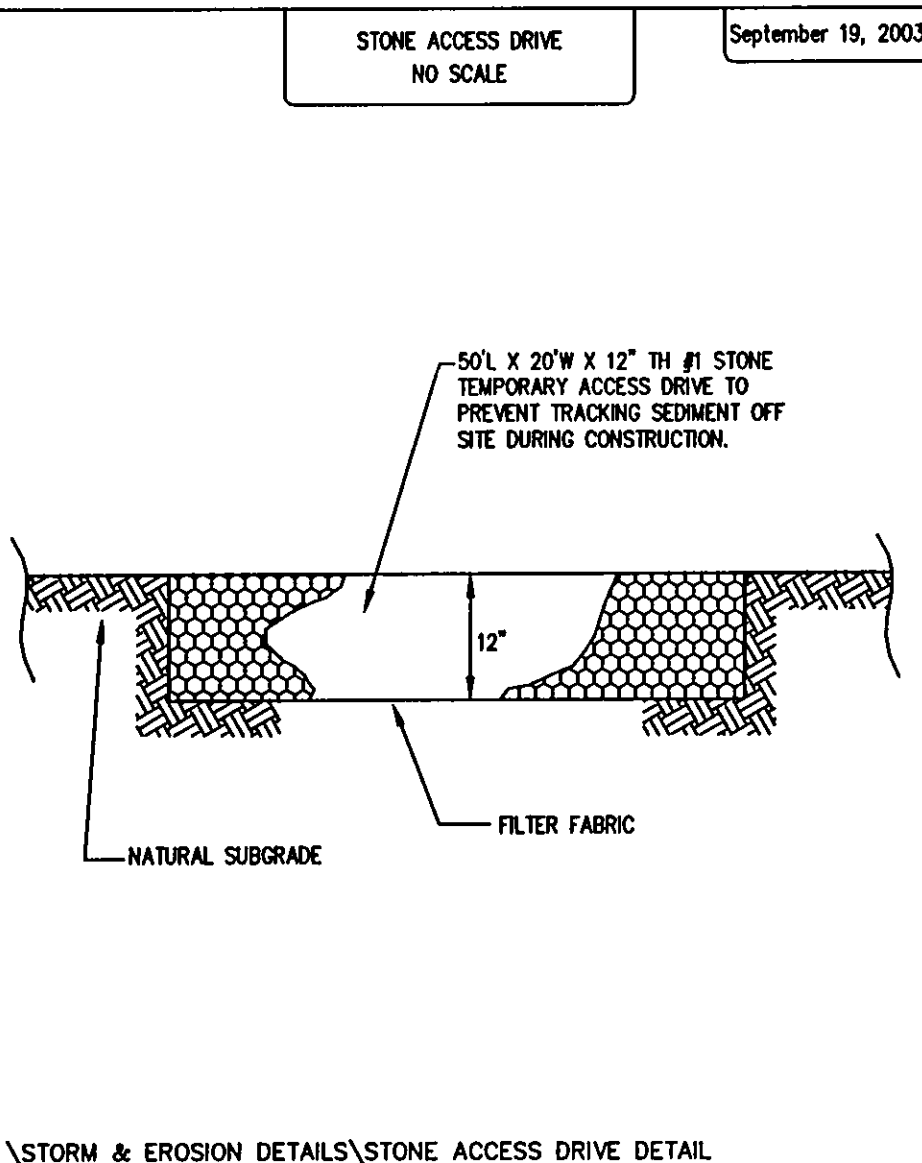
CONTRACT No.  
**08065**  
DATE: 7/14/08  
SCALE: HOR. 1"=20'  
VERT. N/A  
FILENAME: Sublot46.dwg

Prepared For:  
River Oaks Homes  
P.O. Box 754  
Painesville, Ohio 44077  
Ph: (440) 358-9050  
Fax: (440) 357-8848

2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE  
NON-MEMBERS MUST BE CALLED DIRECT

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

EXISTING UNDERGROUND UTILITIES NOTE:  
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.



EROSION CONTROL TIMETABLE											
ACCEPTABLE EROSION CONTROL TIMETABLE											
TYPE	START	END	START	END	START	END	START	END	START	END	START
TEMP. SEEDING											
PERM. SEEDING											
MULCHING											
STORM											
** SEEDING INSTALLED FROM MAY 15 - JUL 15 WILL REQUIRE ADDITIONAL WATERING TO PROMOTE SEED GROWTH. MULCH MAY ALSO BE USED TO HOLD MOISTURE.											
SCHEDULE OF MAJOR CONSTRUCTION OPERATIONS											
OPERATION	START	END	START	END	START	END	START	END	START	END	START
CLAYING											
ROUGH GRADING											
FINISH GRADING											
CONCRETE DETENTION POND											
UTILITIES											
LAND GRADING											
LANDSCAPING											
TEMP. EROSION CONTROL MAINTENANCE											

STORM & EROSION DETAILS/EROSION CONTROL TIMETABLE

Land Remaining In  
PPN: 8A-12-04  
R.M. Osborne, Jr.  
Doc. #2004R013912

S/L 45  
(Vacant)

Sublot 46  
0.6830 Acres  
(29,782 Sq.Ft.)  
Environmental Easement

S/L 47

Stormwater Management Plan  
As shown and/or noted  
by James R. Gills, P.E. 0004  
County Engineer  
7/30/08