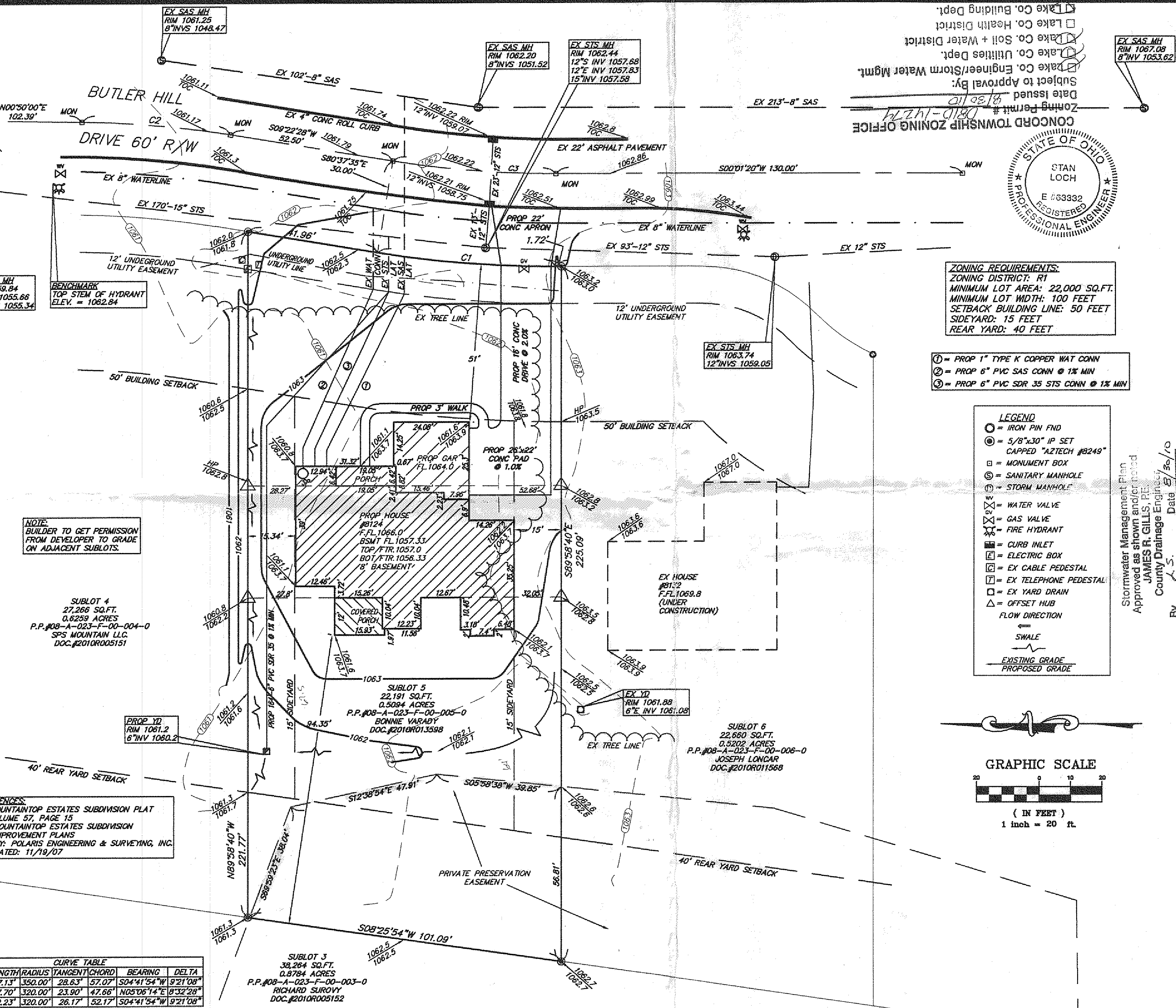
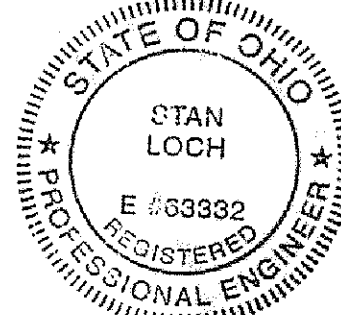




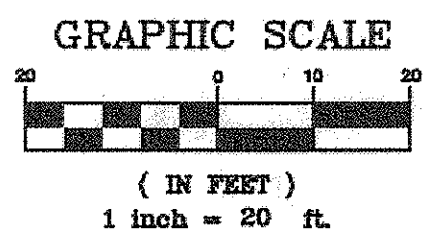
CONCORD TOWNSHIP ZONING OFFICE
Zoning Permit # 0810-14274
Date Issued 8/30/10
Subject to Approval By:
Lake Co. Engineer/Storm Water Mgmt.
Lake Co. Utilities Dept.
Lake Co. Soil & Water District
Lake Co. Health District
Lake Co. Building Dept.



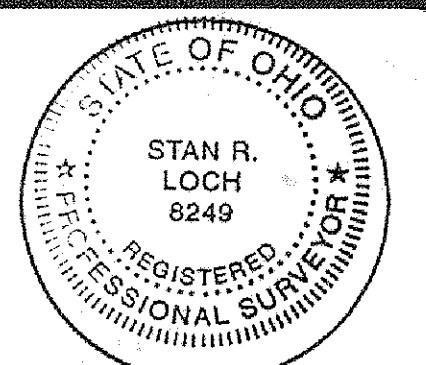
ZONING REQUIREMENTS:
ZONING DISTRICT: R1
MINIMUM LOT AREA: 22,000 SQ.FT.
MINIMUM LOT WIDTH: 100 FEET
SETBACK BUILDING LINE: 50 FEET
SIDEYARD: 15 FEET
REAR YARD: 40 FEET

- ① = PROP 1" TYPE K COPPER WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1% MIN
- ③ = PROP 6" PVC SDR 35 STS CONN @ 1% MIN

- LEGEND**
- = IRON PIN FND
 - ⊙ = 5/8"x30" IP SET CAPPED "AZTECH #8249"
 - = MONUMENT BOX
 - ⊕ = SANITARY MANHOLE
 - ⊗ = STORM MANHOLE
 - ⊕ = WATER VALVE
 - ⊗ = GAS VALVE
 - ⊕ = FIRE HYDRANT
 - ⊕ = CURB INLET
 - ⊕ = ELECTRIC BOX
 - ⊕ = EX CABLE PEDESTAL
 - ⊕ = EX TELEPHONE PEDESTAL
 - ⊕ = EX YARD DRAIN
 - △ = OFFSET HUB
 - = FLOW DIRECTION
 - = SWALE
 - = EXISTING GRADE
 - = PROPOSED GRADE



Stormwater Management Plan
Approved as shown and/or noted
JAMES R. GILLS, PE
County Drainage Engineer
By J.S. Date 8/30/10



"I, THE UNDERSIGNED HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 6", 1" OR 2" CONTOURS, AND ELEVATION SHOWN HEREON REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 4TH DAY OF AUGUST 2010 AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON."

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071



ENGINEERING and SURVEYING
Civil Engineering · Land Surveying

SHEET CONTENT
SITE PLAN FOR
PAUL D'AMICO
BEING KNOWN AS
8124 BUTLER HILL DRIVE
SUBLLOT 5
IN THE
MOUNTAINTOP ESTATES
SUBDIVISION
AS RECORDED IN
PLAT VOLUME 57, PAGE 15
PART OF ORIGINAL
CONCORD TOWNSHIP
LOT NO. 10,
TRACT NO. 4
SITUATED IN THE
TOWNSHIP OF CONCORD
COUNTY OF LAKE
STATE OF OHIO

REVISIONS		
NO.	DATE	DESCRIPTION

HORIZ. SCALE		VERT. SCALE	
1" = 20'		1" = 20'	
DRAWN BY		DATE	
KEG		8-23-2010	
CHECKED BY		DRAWING NO.	
SRL		20102368	
JOB NO.		SHEET	
20102368		1 OF 2	

NOTE:
BUILDER TO GET PERMISSION
FROM DEVELOPER TO GRADE
ON ADJACENT SUBLOTS.

SUBLLOT 4
27,266 SQ.FT.
0.6259 ACRES
P.P.#08-A-023-F-00-004-0
SPS MOUNTAIN LLC
DOC.#2010R005151

ENCLOSURE
MOUNTAINTOP ESTATES SUBDIVISION PLAT
VOLUME 57, PAGE 15
MOUNTAINTOP ESTATES SUBDIVISION
IMPROVEMENT PLANS
BY: POLARIS ENGINEERING & SURVEYING, INC.
DATED: 11/19/07

CURVE TABLE				
LENGTH	RADIUS	TANGENT	CHORD	BEARING
7.13'	350.00'	28.63'	57.07'	S04°41'54"W 9°21'08"
17.0'	320.00'	23.90'	47.66'	N05°06'14"E 8°32'28"
12.3'	320.00'	26.17'	52.17'	S04°41'54"W 9°21'08"

SUBLLOT 3
38,264 SQ.FT.
0.8784 ACRES
P.P.#08-A-023-F-00-003-0
RICHARD SUROY
DOC.#2010R005152

SUBLLOT 5
22,191 SQ.FT.
0.5094 ACRES
P.P.#08-A-023-F-00-005-0
BONNIE VABADY
DOC.#2010R013598

SUBLLOT 6
22,660 SQ.FT.
0.5202 ACRES
P.P.#08-A-023-F-00-006-0
JOSEPH LONCAR
DOC.#2010R011568